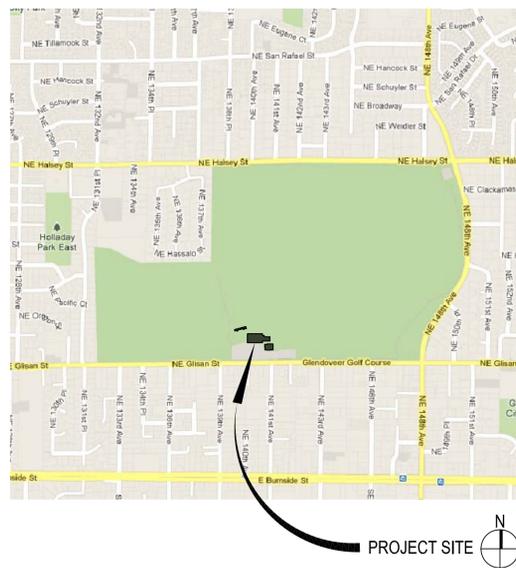


Glendoveer Golf Course - Clubhouse Toilet Room Renovations

14015 NE GLISAN STREET
PORTLAND, OR 97230

ISSUED FOR PERMIT / BID
December 7, 2012

VICINITY MAP



SITE PLAN



BUILDING AND SITE INFO

SITE LOCATION	14015 NE GLISAN ST. PORTLAND, OR 97230
TAX DESCRIPTION	SECTION 35 1N 2E, TL 200
PROPERTY ID#	R320140
ALT. ACCOUNT#	R942351360
JURISDICTION	BUREAU OF DEVELOPMENT SERVICES CITY OF PORTLAND 1900 SW 4TH AVENUE, STE. 5000 PORTLAND, OR 97201 503.823.7300
EXISTING CONSTRUCTION TYPE	CLUBHOUSE IS V, NON-RATED, WITH SPRINKLERS
OCCUPANCY TYPE	B (SEATING AREAS) F1 (KITCHEN AND SUPPORT AREAS) M (MERCANTILE/RETAIL AREAS)
BUILDING STORY HEIGHT	ONE STORY
BUILDING HEIGHT	APPROXIMATELY 22'

PROJECT TEAM

CLIENT	LYDIA NEILL METRO PARKS & ENVIRONMENTAL SERVICES 600 NE GRAND AVE. PORTLAND, OR 97232 503.975.4522
ARCHITECT	DAO ARCHITECTURE LLC 1919 SE 43RD AVENUE PORTLAND, OR 97215 503.230.0664 WWW.DAOARCHITECTURE.COM
PLUMBING ENGINEER	M.E.P. CONSULTING LLC 9220 SW BARBAR BLVD. SUITE #119-324 PORTLAND, OR 97219 503.248.5300 WWW.MEPCON.COM
CONTRACTOR	TO BE DETERMINED

DRAWING LIST

COVER SHEET	
ARCHITECTURAL	A1.0 EGRESS, LIFE SAFETY, TOILET COUNT A1.1 EGRESS, LIFE SAFETY, TOILET COUNT-CLUBHOUSE A2.0 DEMOLITION FLOOR PLAN, NOTES A2.1 DEMOLITION CEILING PLAN, NOTES A2.2 FLOOR PLAN, NOTES A3.0 INTERIOR ELEVATIONS A3.1 INTERIOR ELEVATIONS A3.2 INTERIOR ELEVATIONS A5.0 SCHEDULES AND MATERIAL NOTES A7.0 REFLECTED CEILING/LIGHTING PLAN, NOTES A8.0 DETAILS - PARTITIONS A8.1 DETAILS - CEILING
PLUMBING	P0.0 PLUMBING LEGEND, SCHEDULES AND DETAILS P1.0 PLUMBING FOUNDATION PLAN P1.1 PLUMBING FLOOR PLAN



ABBREVIATIONS

&	And	CLR	Clear	EXIST	Existing	HWH	Hot Water Heater	PERF	Perforate(d)	SSC	Solid Surface Countertop
∠	Angle	CO	Cleanout	EXP	Exposed	ID	Inside Diameter (dim.)	PC	Precast	STD	Standard
At	At	COL	Column	EXT	Exterior	INCAND	Incandescent	PL	Plate	STL	Steel
⊙	Centerline	CONC	Concrete	FD	Floor Drain	INSUL	Insulation	PLAM	Plastic Laminat	STN	Stained
⊘	Diameter or Round	CONN	Connection	FDN	Foundation	INT	Interior	PLYWD	Plywood	STOR	Storage
#	Pound or Number	CONSTR	Construction	FE	Fire Extinguisher	JT	Joint	PNT	Paint	STRUCT	Structural
(E)	Existing	CONT	Continuous	FEC	Fire Extinguisher Cab.	KEC	Kitchen Equipment Contractor	SUSP	Suspended	SUSP	Suspended
ABV	Above	CORR	Corridor	FIN FL	Finish Floor	LAB	Laboratory	SYM	Symmetrical	TBD	To Be Determined
ACT	Acoustical Ceiling Tile	CSK	Countersunk	FHC	Fire Hose Cabinet	LAM	Laminat	TR	Trench Drain	TD	Trench Drain
A/C	Air Conditioning	CNTR	Counter	FIN	Finish	LAV	Lavatory	PTD	Painted	TR	Tread
ADD	Addendum	CT	Ceramic Tile	FLR	Floor	LT	Light	PTN	Partition	R	Riser
ACOUS	Acoustical	FLUOR	Fluorescent	MATL	Material	MAX	Maximum	R	Riser	RA	Return Air
AD	Area Drain	CMU	Concrete Masonry Unit	FOC	Face of Concrete	MECH	Mechanical	RAD	Radius	RB	Resilient Base
ADJ	Adjustable	DBL	Double	FOF	Face of Finish	MEMB	Membrane	RD	Roof Drain	REC	Recessed
AFF	Above finish floor	DEPT	Department	FOS	Face of Stud	MFR	Manufacturer	REFR	Refrigerator	REV.	Reversed
AHU	Air Handling Unit	DET	Detail	FRP	Glass Reinforced	FRP	Paneling	REIN	Reinforced	REQD	Required
AL	Aluminum	DIA	Diameter	FRFP	Fireproof	FS	Fireproof	REIN	Reinforced	RESIL	Resilient
APPROX	Approximate	DIM	Dimension	FRP	Fireproof	FT	Foot or Feet	REQD	Required	R	Rough Opening
ARCH	Architect(ural)	DISP	Dispenser	FT	Foot or Feet	FTG	Footing	REQD	Required	RM	Room
BCS	Baby Changing Station	DIV	Division	GA	Gage	GA	Gage	REQD	Required	RO	Rough Opening
BD	Board	DN	Down	GALV	Galvanized	GYP BD	Gypsum Board	RESIL	Resilient	SC	Solid Core
BLDG	Building	DWR	Drawer	GL	Glass	GND	Ground	SCD	Seat Cover Dispenser	SD	Soap Dispenser
BLKG	Blocking	DS	Downspout	GL	Glass	GB	Grab Bar	SD	Soap Dispenser	SCHED	Schedule
BM	Beam	DWG	Drawing	GND	Ground	GYP	Gypsum	SECT	Section	SECT	Section
BOT	Bottom	EA	Each	GB	Grab Bar	HC	Hollow Core	SHR	Shower	SHR	Shower
BRK	Brick	EXP JT	Expansion Joint	HC	Hollow Core	HDWD	Hardwood	SHT	Sheet	SIM	Similar
CJ	Construction Joint	EL	Elevation	HDWD	Hardwood	HGT	Height	SND	Sanitary Napkin	SND	Sanitary Napkin
CAB	Cabinet	ELEV	Elevator	HGT	Height	HM	Hollow Metal	SQ	Square	SQ	Square
CB	Catch Basin	EQUIP	Equipment	HORIZ	Horizontal	HORIZ	Horizontal	SS	Stainless Steel	SS	Stainless Steel
CER	Ceramic	EST	Estimate	HR	Hour	HVAC	Heat/Vent./Air Conditioning				
CFOI	Contractor Furnished	EWC	Electric Water Cooler	HR	Hour						
CH	Contractor Installed	EXH	Exhaust								
CH	Contractor Installed										
CLJ	Control Joint										
CLG	Ceiling										

GENERAL USE SYMBOLS

4 A4.5	BUILDING / WALL SECTION	JANITORS CLOSET 215	ROOM NAME AND NUMBER
2 A3.1	BUILDING ELEVATION	REVISION REFERENCE ONLY MOST RECENT REVISION SHOWN CLOUDED	REVISION REFERENCE ONLY MOST RECENT REVISION SHOWN CLOUDED
3 A6.1	INTERIOR ELEVATION	2 A2.1	DETAIL
1A	PARTITION TYPE	3	KEYNOTE
1	RELITE NUMBER	TITLE	SHEET/DETAIL TITLE
A	COLUMN GRID	PROJECT NORTH	PROJECT NORTH
10'-0"	ELEVATION TAG	10'-0"	ELEVATION TAG

MATERIALS

CONTINUOUS WOOD	GLASS
DISCONTINUOUS WOOD BLOCKING	STEEL
FINISHED WOOD	ALUMINUM
CONCRETE	PLYWOOD
STONE	GYPSON BOARD / SHEATING
EARTH / COMPACT FILL	BRICK
BATT / BLANKET INSULATION	CMU
RIGID INSULATION	RIGID INSULATION

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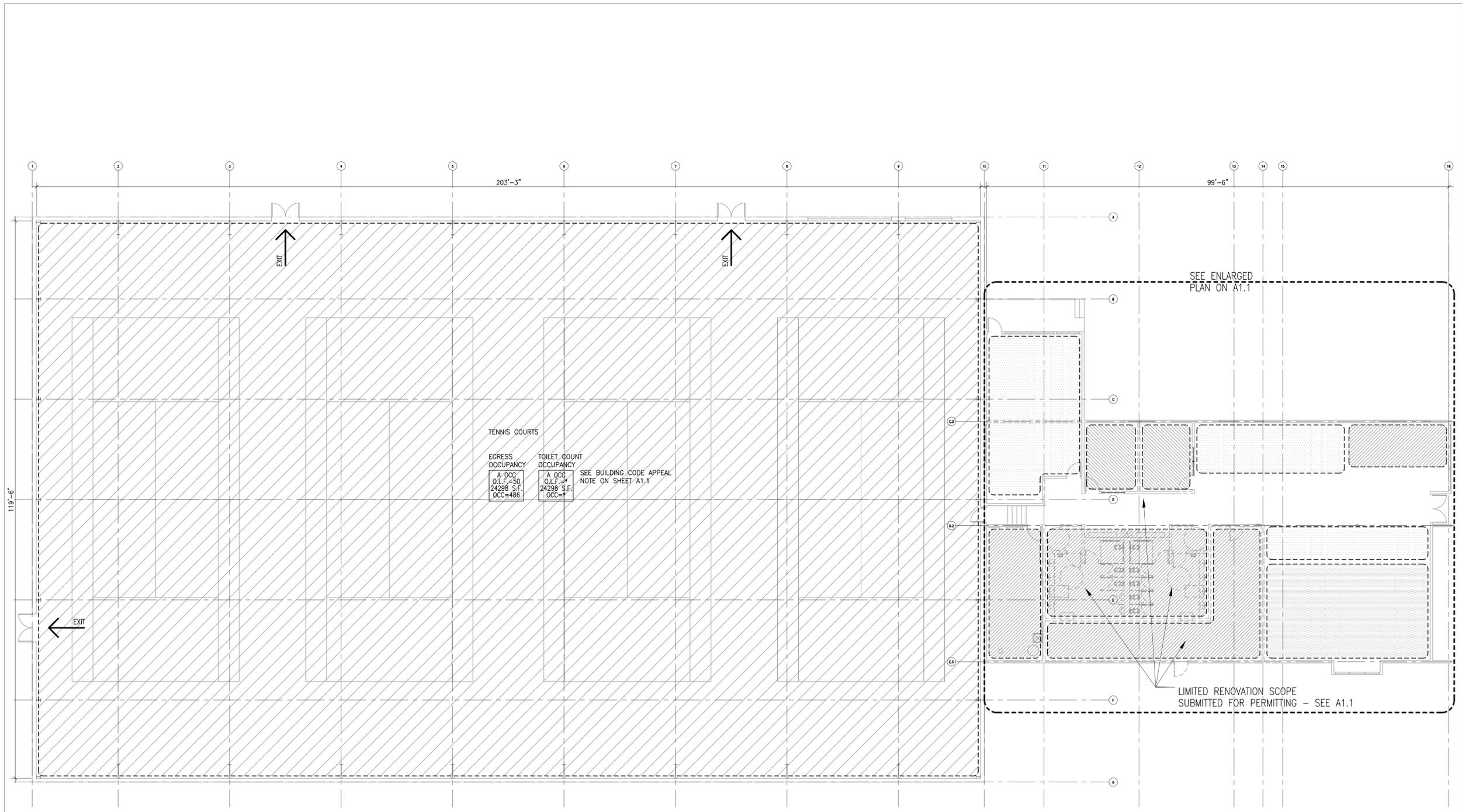
KEY PLAN

ISSUANCE
ISSUED FOR PERMIT/BID
PROJECT NUMBER
1209
DATE
12.7.2012
SCALE
AS NOTED
DRAWING TITLE

**EGRESS / LIFE SAFETY
TOILET COUNT CALCS.**

SHEET NUMBER

A1.0



1 EGRESS PLAN (TENNIS PORTION OF BUILDING)
SCALE: 3/32" = 1'-0"

CLUBHOUSE PORTION OF BUILDING (SEE A1.1)





CODE SUMMARY

JURISDICTION AUTHORITY: CITY OF PORTLAND, OREGON
APPLICABLE CODES: 2010 OREGON STRUCTURAL SPECIALTY CODE AND UNIFORM FIRE CODE

CITY OF PORTLAND BUILDING REGULATIONS

2010 OREGON MECHANICAL SPECIALTY CODE (OMSC), BASED ON THE 2006 INTERNATIONAL MECHANICAL CODE (IMC) AND 2006 INTERNATIONAL FUEL GAS CODE WITH OREGON AMENDMENTS

2011 OREGON PLUMBING SPECIALTY CODE (OPSC), BASED ON THE 2003 UNIFORM PLUMBING CODE (UPC) AND 2002 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 99C WITH OREGON AMENDMENTS

2011 OREGON ELECTRICAL SPECIALTY CODE (OESC), BASED ON 2005 NATIONAL ELECTRICAL CODE (NEC) WITH OREGON AMENDMENTS

AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES

OCCUPANCY TYPES:
B (SEATING AREAS < 50) - PLANNED
B (SUPPORT AREAS) - PLANNED
F-1 (KITCHEN AREA) - PLANNED
M (MERCANTILE AREA)
A (TENNIS COURTS)

CONSTRUCTION TYPE: V, NON-RATED -- CLUBHOUSE IS SPRINKLED

EXIT SIGNAGE: PROVIDE EXIT SIGNAGE TO COMPLY WITH ALL JURISDICTIONAL REQUIREMENTS. REFER TO REFLECTED CEILING PLANS AND ELECTRICAL DRAWINGS FOR LOCATION AND DIRECTION OF EXIT SIGNS.

EGRESS LIGHTING: PROVIDE EMERGENCY EGRESS LIGHTING TO COMPLY WITH ALL JURISDICTIONAL REQUIREMENTS, ALONG EGRESS PATHS. REFER TO REFLECTED CEILING PLANS AND ELECTRICAL DRAWINGS FOR ADD'L INFORMATION.

OCCUPANCY CALCULATIONS

EGRESS OCCUPANCY

SALES AREA : 524 SF @ OLF = 30 SF/OCC	=	18 OCC.
LOUNGE / SEATING AREAS : 1079 SF @ OLF = 15 SF/OCC	=	72 OCC.
OFFICE AREAS : 633 SF @ OLF = 100 SF/OCC	=	8 OCC.
SUPPORT/KITCHEN AREA : 277 SF @ OLF = 200 SF/OCC	=	2 OCC.
SUPPORT/B.O.H. AREAS : 1791 SF @ OLF = 0 SF/OCC	=	0 OCC.
TENNIS : 24298 SF @ OLF = 50 SF/OCC	=	486 OCC.
TOTAL RETAIL, SEATING AREA OCCUPANTS	=	586 OCC.

TOILET ROOM OCCUPANCY*

SALES AREA : 524 SF @ OLF = 200 SF/OCC	=	3 OCC.
LOUNGE / SEATING AREAS : 1079 SF @ OLF = 30 SF/OCC	=	37 OCC.
OFFICE AREAS : 633 SF @ OLF = 200 SF/OCC	=	4 OCC.
SUPPORT/KITCHEN AREA : 277 SF @ OLF = 2000 SF/OCC	=	1 OCC.
SUPPORT/B.O.H. AREAS : 1791 SF @ OLF = 0 SF/OCC	=	0 OCC.
TENNIS : *	=	*
TOTAL RETAIL, SEATING AREA OCCUPANTS	=	*

*SEE APPEAL NOTE BELOW SHOWING TOILET FIXTURE COUNT GRANTED AS PROPOSED

LEGEND

	MAIN RETAIL AREAS		OFFICE
	SEATING AREAS		SERVICE/SUPPORT BACK-OF-HOUSE
	OCCUPANCY GROUP OCCUPANT LOAD FACTOR ROOM S.F. TOTAL OCCUPANT LOAD		EXITWAY

BUILDING CODE APPEALS NOTE

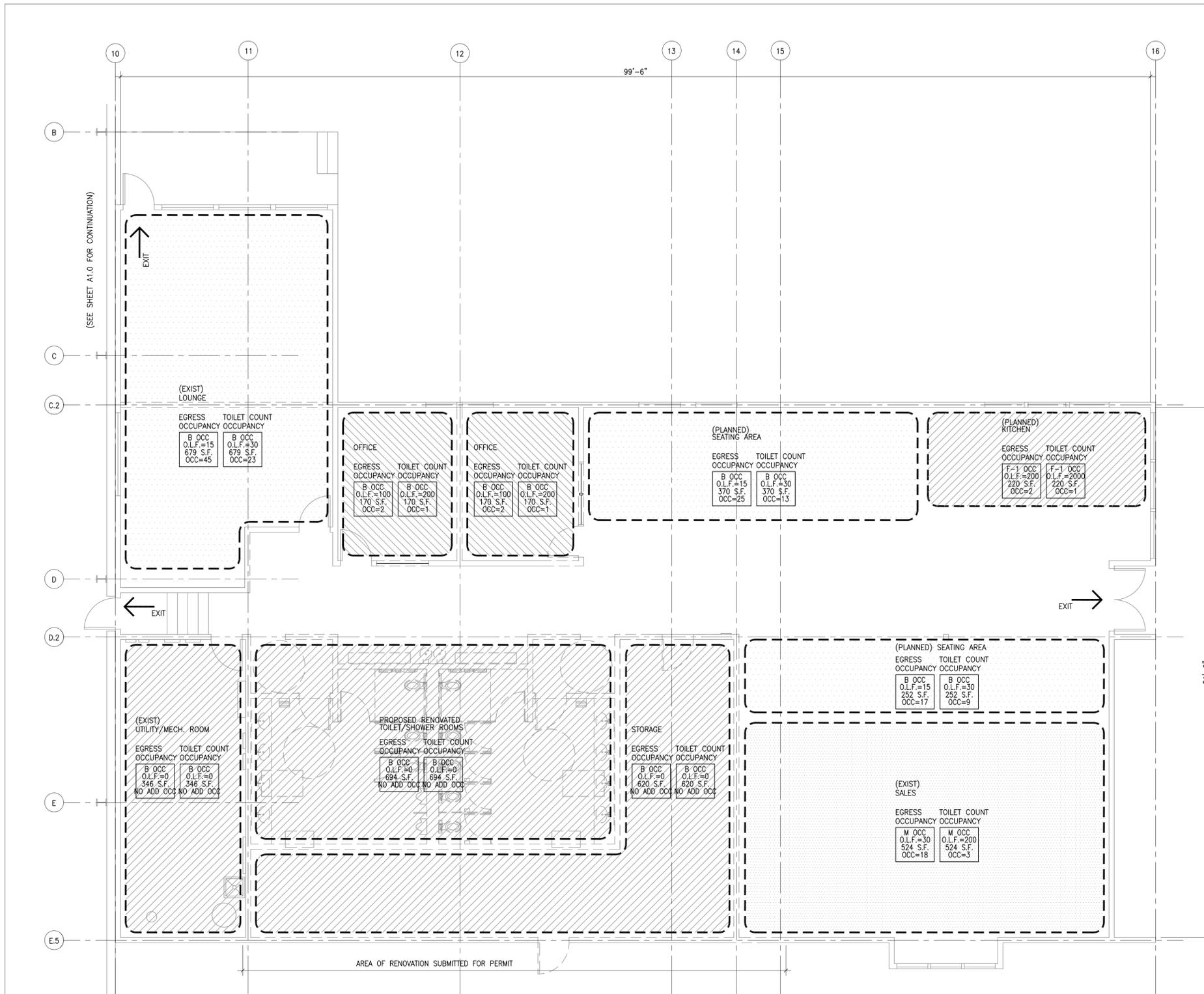
09/05/12 Appeal ID-8998, APPEAL ITEM #1 - Code Section being appealed: OSA Table 29-A.

Regulation Requirement: Table 29-A doesn't specifically list a tennis structure use, but a conservative interpretation of the Tennis Courts portion of the Clubhouse/Tennis structure (as an A-occupancy at 30sf/occupant) would equate to 810 occupants, for a total of the whole building of 855 occupants. This strict interpretation equates to 7 toilet/urinal fixtures for each sex.

Proposed Design: The toilet/shower/locker rooms are to be renovated to provide ADA compliant clearances and fixtures, as the current rooms are not currently accessible. The proposed toilet/locker room renovations provide (5) toilet/urinal fixtures for each sex, plus (4) lavatories for each sex, plus (2) shower fixtures for each sex -- with accessible shower, toilet, and lavs provided in each room.

Reason for Alternate: The existing rooms currently provide an unequal number and fewer fixtures than proposed, with (4) toilet/urinal fixtures, (3) lavatories, and (4) showers in the men's room, and (2) toilets, (2) lavatories, and (2) showers in the women's room. To provide an equal number of fixtures, plus all the necessary clearances, turning radii, etc. for ADA and ANSI compliance -- the number of fixtures has been maximized, while still providing (2) showers for each sex (by taking over the existing underutilized storage room to the west of the toilet/locker room). The historical maximum of occupants for the tennis courts portion of the building is approximately 50 occupants, much much less than the 810 occupants derived from a strict interpretation of Table 29-A. This type of situation is anticipated by Section 2094.2's Exception, which provides the jurisdiction flexibility to accept the maximum feasible number of fixtures, such as is the case here. Given the existing conditions, the number of fixtures has been maximized, while providing compliance with current accessibility requirements.

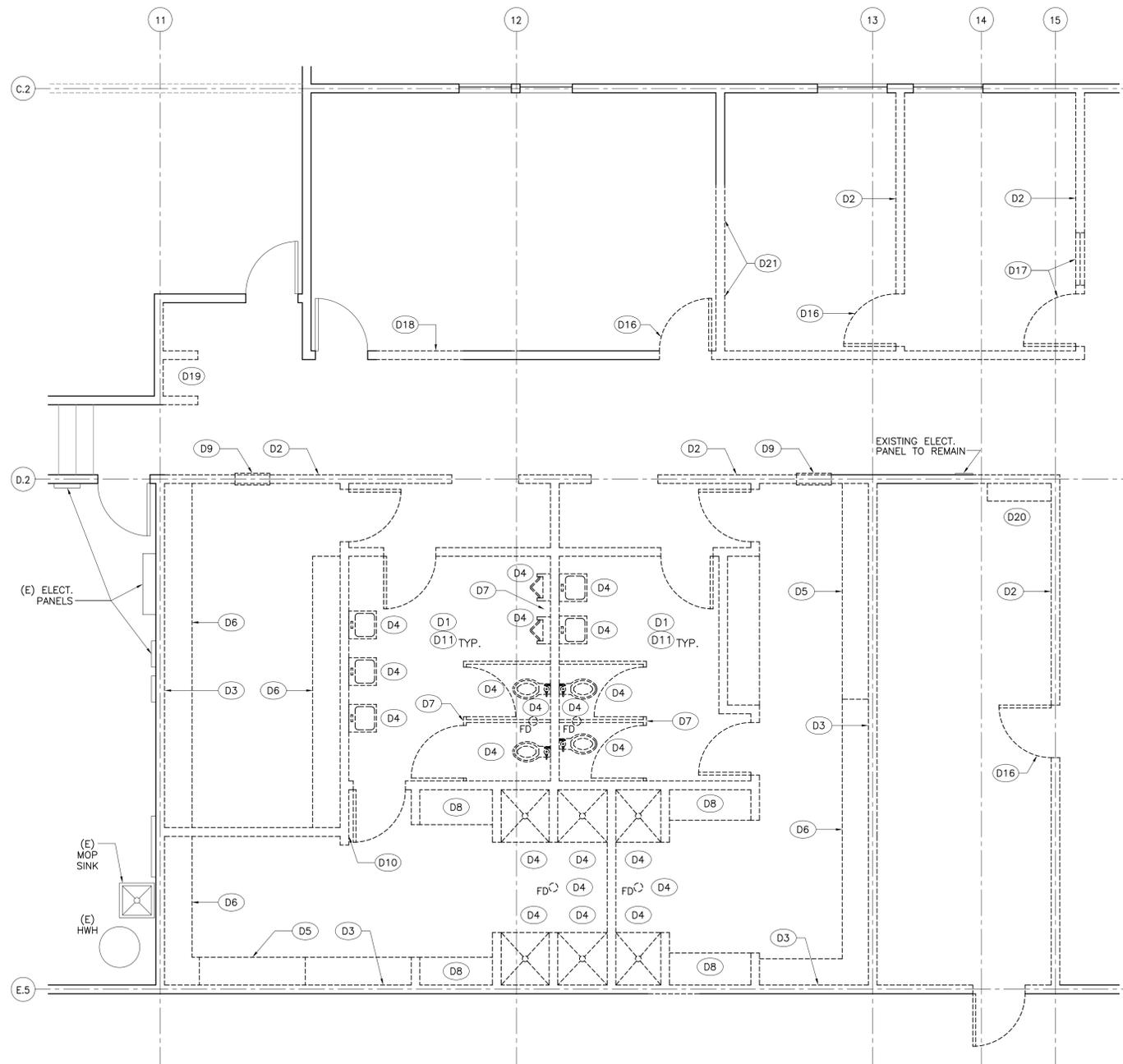
Appeal ruling: Number of toilet fixtures: Granted as proposed.



1 EGRESS / TOILET COUNT OCCUPANCY DIAGRAM

SCALE: 3/16" = 1'-0"





1 DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. CONTRACTOR AND SUBCONTRACTOR MUST VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTORS TO VERIFY THE LOCATIONS OF UTILITIES AND ALL ABANDONED UTILITIES AND SERVICES SHALL HAVE CONDUIT, CABLING, DUCTWORK, OR PIPING REMOVED AND CAPPED AT THE EXTENT OF THE PROJECT OR AS REQUIRED FOR THE OPERATION OF THE SYSTEM. COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING, FLOORING AND FINISHES, AND ALL OTHER SUBCONTRACTORS.
2. PATCH, REPAIR AND REFINISH EXISTING ITEMS TO REMAIN TO SPECIFIED CONDITION OF EACH MATERIAL AND PROVIDE A SMOOTH TRANSITION TO ADJACENT NEW CONSTRUCTION. CUT EXISTING FINISHES TO BE REMOVED USING METHODS TO TERMINATE SURFACES IN STRAIGHT, NEAT LINE AT A NATURAL POINT OF DIVISION.
3. VERIFY THAT ALL ASSEMBLIES TO BE REMOVED ARE NON-STRUCTURAL. IF THERE IS A QUESTION AS TO TYPE OF ASSEMBLY, CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THIS WORK.
4. COORDINATE DEMOLITION OF PLUMBING SYSTEM WITH NEW PLUMBING - SEE PLUMBING SHEETS, & COORDINATE SPECIFICS OF BEST POINT OF CONNECTION FOR ALL SUPPLY, VENT, AND WASTE LINES. CUT AND TRENCH AS NECESSARY FOR NEW PIPING AND REMOVAL OF ABANDONED PIPING. PATCH, REPAIR, AND ALLOW TO CARE AND PLAN ACCORDINGLY FOR CONCRETE FINISH.
5. MECHANICAL SYSTEM IS DESIGN-BUILD. COORDINATE DEMOLITION OF MECHANICAL SYSTEM COMPONENTS WITH NEW LOCATIONS (SEE CEILING PLAN) FOR DIFFUSERS/ TRANSFERS GRILLES/ DUCTWORK, AND CONTROLS AND CONNECT TO EXISTING SYSTEM AS NECESSARY FOR A FULLY-FUNCTIONAL SYSTEM MEETING ALL JURISDICTIONAL REQUIREMENTS.
6. FIRE PROTECTION SYSTEM IS DESIGN-BUILD. COORDINATE REMOVAL OF EXISTING SPRINKLER HEADS WITH NEW LOCATIONS. SEE CEILING PLAN FOR GENERAL LOCATION INFORMATION & ENSURE ADEQUATE SPACING AND COVERAGE TO MEET ALL JURISDICTIONAL REQUIREMENTS.
7. ELECTRICAL SYSTEM IS DESIGN-BUILD. COORDINATE REMOVAL OF EXISTING LIGHTING FIXTURES AND ALL OTHER ELECTRICAL FIXTURES AND EQUIPMENT WITH NEW FIXTURES, EQUIPMENT, AND CONTROLS AND PROPERLY CONNECT TO EXISTING SYSTEM AS NECESSARY FOR A FULLY-FUNCTIONAL SYSTEM MEETING ALL JURISDICTIONAL REQUIREMENTS.
8. WALL AND CEILING FRAMING, AND STRUCTURAL SUPPORT FOR TOILET PARTITIONS OR OTHER CEILING MOUNTED EQUIPMENT ARE DESIGN-BUILD. PROVIDE PROPER SUPPORTS AND ANCHORAGE FOR ALL LOADS AND MEET ALL MANUFACTURER'S RECOMMENDATIONS AND JURISDICTIONAL REQUIREMENTS.

FLOOR DEMOLITION PLAN KEYNOTES

- (D1) CAREFULLY REVIEW NEW FLOOR AND CEILING PLANS AND REMOVE EXISTING PARTITIONS AND CEILING FRAMING, GYPSUMBOARD, FINISHES, DOORS AND FRAMES, AND OTHER NON-STRUCTURAL COMPONENTS WITHIN WORK AREA.
- (D2) REMOVE PORTIONS OF EXISTING PARTITION AND PREPARE FOR NEW INFILL. - SEE FLOOR AND CEILING PLANS AND INTERIOR ELEVATIONS AND REMOVE EXISTING FRAMING AND FINISHES FOR A NEAT, CLEAN TRANSITION WITH FRAMING AND FINISHES.
- (D3) WALL OR PARTITION FRAMING IS TO REMAIN. REMOVE WALL FINISHES FOR ACCESS TO UTILITIES AND FINISHES. REPAIR EXISTING INSULATION AND MOISTURE BARRIER OR PROVIDE NEW, CONTINUOUS INSULATION AND VAPOR BARRIER AS NEC.
- (D4) REMOVE EXISTING PLUMBING, LAVS, TOILETS, URINALS, SHOWER ASSEMBLIES, FLOOR DRAINS, AND OTHER ITEMS SUCH AS SUPPORT BRACKETS TO BE REMOVED. COORDINATE PIPING WITH NEW PLUMBING FIXTURES AND LOCATIONS AND TRENCH, RE-ROUTE AND CONNECT AS NECESSARY - SEE PLUMBING DRAWINGS.
- (D5) REMOVE EXISTING LOCKERS - SALVAGE WHERE POSSIBLE FOR REUSE IN STAFF AREA
- (D6) REMOVE EXISTING WOOD PLATFORM BASES
- (D7) REMOVE EXISTING TOILET PARTITIONS AND URINAL SCREENS AND ALL SUPPORT/ANCHORAGE ASSEMBLIES.
- (D8) REMOVE EXISTING WOOD BUTCHERBLOCK BENCHES AND SALVAGE FOR NEW LOOSE BENCHES
- (D9) REMOVE EXISTING AIR TRANSFER GRILLES & COORDINATE WITH MECH. SUBCONTRACTOR TO ENSURE BALANCING WITH NEW DESIGN/BUILD MECH. LAYOUT.
- (D10) REMOVE EXISTING THERMOSTAT AND COORDINATE WITH DESIGN/BUILD MECH. FOR NEW LOCATION, CONTROLS, AND CONNECTIONS
- (D11) GENERAL FLOORING DEMO AND CLEANUP NOTE - REVIEW FIELD CONDITIONS AFTER INITIAL MATERIALS REMOVAL. REMOVE OTHER FLOORING MATERIALS TO CREATE A SMOOTH EVEN APPEARANCE. PATCH LARGE OPENINGS OR NEW TRENCHED AREAS TO PREPARE FOR GRINDING/POLISHING.
- (D16) REMOVE EXISTING DOOR & FRAME & SALVAGE FOR RE-USE IN NEW LOCATION - SEE DOOR SCHEDULE & INTERIOR ELEVATIONS & COORDINATE AS NEC.
- (D17) REMOVE EXISTING DOOR, SIDELITE & FRAME & SALVAGE FOR RE-USE IN NEW LOCATION - SEE DOOR SCHEDULE & INTERIOR ELEVATIONS & COORDINATE AS NEC.
- (D18) REMOVE PORTIONS OF GYP. SHEATHING AND FRAMING IN THIS WALL TO ACCOMMODATE NEW CLERESTORY WINDOW. PROVIDE NEW HEAD, SILL, AND JAMB FRAMING TO ADEQUATELY SUPPORT AND ANCHOR NEW GLAZED AREAS.
- (D19) DEMO PHONE NICHE PARTITIONS & PROVIDE NEW PTD GYP FINISH. REPAIR CEILING AS NEC.
- (D20) REMOVE EXISTING DUCTWORK AND RETURN GRILLE & RELOCATE WITHIN NEW STORAGE ROOM. MODIFY & REBALANCE MECHANICAL SYSTEM AS NEC.
- (D21) REMOVE PORTIONS OF GYP. SHEATHING AND FRAMING IN THIS WALL TO ACCOMMODATE NEW DOOR AND SIDELITE. PROVIDE NEW HEAD, SILL, AND JAMB FRAMING TO ADEQUATELY SUPPORT AND ANCHOR NEW GLAZED AREAS.

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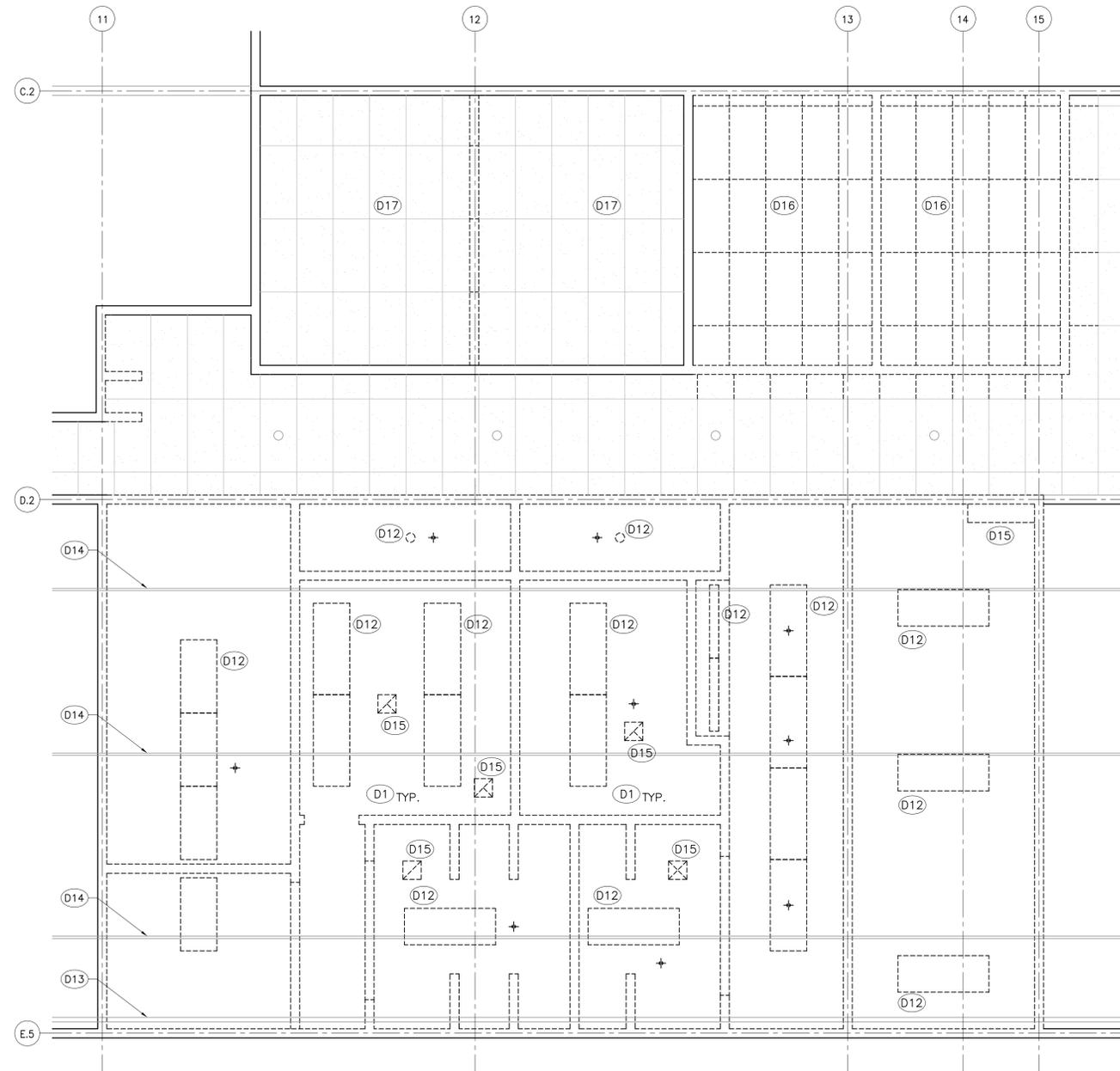
KEY PLAN

ISSUANCE
ISSUED FOR PERMIT/BID
PROJECT NUMBER
1209
DATE
12.7.2012
SCALE
1/4" = 1'-0"
DRAWING TITLE

**FLOOR
DEMOLITION PLAN**

SHEET NUMBER

A2.0



1 DEMOLITION CEILING PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. CONTRACTOR AND SUBCONTRACTOR MUST VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTORS TO VERIFY THE LOCATIONS OF UTILITIES AND ALL ABANDONED UTILITIES AND SERVICES SHALL HAVE CONDUIT, CABLING, DUCTWORK, OR PIPING REMOVED AND CAPPED AT THE EXTENT OF THE PROJECT OR AS REQUIRED FOR THE OPERATION OF THE SYSTEM. COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING, FLOORING AND FINISHES, AND ALL OTHER SUBCONTRACTORS.
2. PATCH, REPAIR AND REFINISH EXISTING ITEMS TO REMAIN TO SPECIFIED CONDITION OF EACH MATERIAL AND PROVIDE A SMOOTH TRANSITION TO ADJACENT NEW CONSTRUCTION. CUT EXISTING FINISHES TO BE REMOVED USING METHODS TO TERMINATE SURFACES IN STRAIGHT, NEAT LINE AT A NATURAL POINT OF DIVISION.
3. VERIFY THAT ALL ASSEMBLIES TO BE REMOVED ARE NON-STRUCTURAL. IF THERE IS A QUESTION AS TO TYPE OF ASSEMBLY, CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THIS WORK.
4. COORDINATE DEMOLITION OF PLUMBING SYSTEM WITH NEW PLUMBING - SEE PLUMBING SHEETS, & COORDINATE SPECIFICS OF BEST POINT OF CONNECTION FOR ALL SUPPLY, VENT, AND WASTE LINES. CUT AND TRENCH AS NECESSARY FOR NEW PIPING AND REMOVAL OF ABANDONED PIPING. PATCH, REPAIR, AND ALLOW TO CARE AND PLAN ACCORDINGLY FOR CONCRETE FINISH.
5. MECHANICAL SYSTEM IS DESIGN-BUILD. COORDINATE DEMOLITION OF MECHANICAL SYSTEM COMPONENTS WITH NEW LOCATIONS (SEE CEILING PLAN) FOR DIFFUSERS/ TRANSFERS GRILLES/ DUCTWORK, AND CONTROLS AND CONNECT TO EXISTING SYSTEM AS NECESSARY FOR A FULLY-FUNCTIONAL SYSTEM MEETING ALL JURISDICTIONAL REQUIREMENTS.
6. FIRE PROTECTION SYSTEM IS DESIGN-BUILD. COORDINATE REMOVAL OF EXISTING SPRINKLER HEADS WITH NEW LOCATIONS. SEE CEILING PLAN FOR GENERAL LOCATION INFORMATION & ENSURE ADEQUATE SPACING AND COVERAGE TO MEET ALL JURISDICTIONAL REQUIREMENTS.
7. ELECTRICAL SYSTEM IS DESIGN-BUILD. COORDINATE REMOVAL OF EXISTING LIGHTING FIXTURES AND ALL OTHER ELECTRICAL FIXTURES AND EQUIPMENT WITH NEW FIXTURES, EQUIPMENT, AND CONTROLS AND PROPERLY CONNECT TO EXISTING SYSTEM AS NECESSARY FOR A FULLY-FUNCTIONAL SYSTEM MEETING ALL JURISDICTIONAL REQUIREMENTS.
8. WALL AND CEILING FRAMING, AND STRUCTURAL SUPPORT FOR TOILET PARTITIONS OR OTHER CEILING MOUNTED EQUIPMENT ARE DESIGN-BUILD. PROVIDE PROPER SUPPORTS AND ANCHORAGE FOR ALL LOADS AND MEET ALL MANUFACTURER'S RECOMMENDATIONS AND JURISDICTIONAL REQUIREMENTS.

CEILING DEMOLITION PLAN KEYNOTES

- (D12) REMOVE EXISTING LIGHTING FIXTURES, INSPECT EXISTING WIRING AND PANEL CONDITIONS AND PREPARE FOR NEW FIXTURES AND RECONNECT. SEE ALSO GENERAL NOTE 7 ABOVE AND GENERAL NOTE 7 ON SHEET A7.0.
- (D13) EXISTING 3" WATER LINE TO REMAIN. PROTECT AS NEC. DURING DEMO AND NEW CONSTRUCTION.
- (D14) EXISTING SPRINKLER PIPING TO REMAIN, PROTECT AS NEC. DURING DEMO AND NEW CONSTRUCTION. RELOCATE EXISTING SPRINKLER HEADS AND/OR PROVIDE NEW HEADS AND LOCATIONS - SEE CEILING PLAN AND GENERAL NOTE 6 ABOVE.
- (D15) APPROXIMATE LOCATIONS AND SIZES OF SUPPLY, RETURN, AND EXHAUST DIFFUSERS SHOWN HERE. REMOVE DIFFUSERS AND DUCTWORK AND RECONNECT TO NEW LOCATIONS - SEE CEILING PLAN AND GENERAL NOTE 5 ABOVE.
- (D16) PRIOR TO DEMOLITION, REVIEW CEILING GRID CONDITION IN THESE AREAS. PROTECT AND REUSE WHERE POSSIBLE & PROVIDE NEW ACT TILES WHERE NEC. FOR NEAT, CLEAN APPEARANCE. SEE ALSO CEILING KEYNOTE C6 & C7 ON A7.0.
- (D17) PRIOR TO DEMOLITION IN THESE AREAS, REVIEW CONDITION OF EXISTING LIGHTING & OTHER CEILING APPURTANCES. REDROUT LIGHTING AS NEC. FOR PROPER OPERATION. SEE ALSO CEILING KEYNOTE C6 & C7 ON A7.0.

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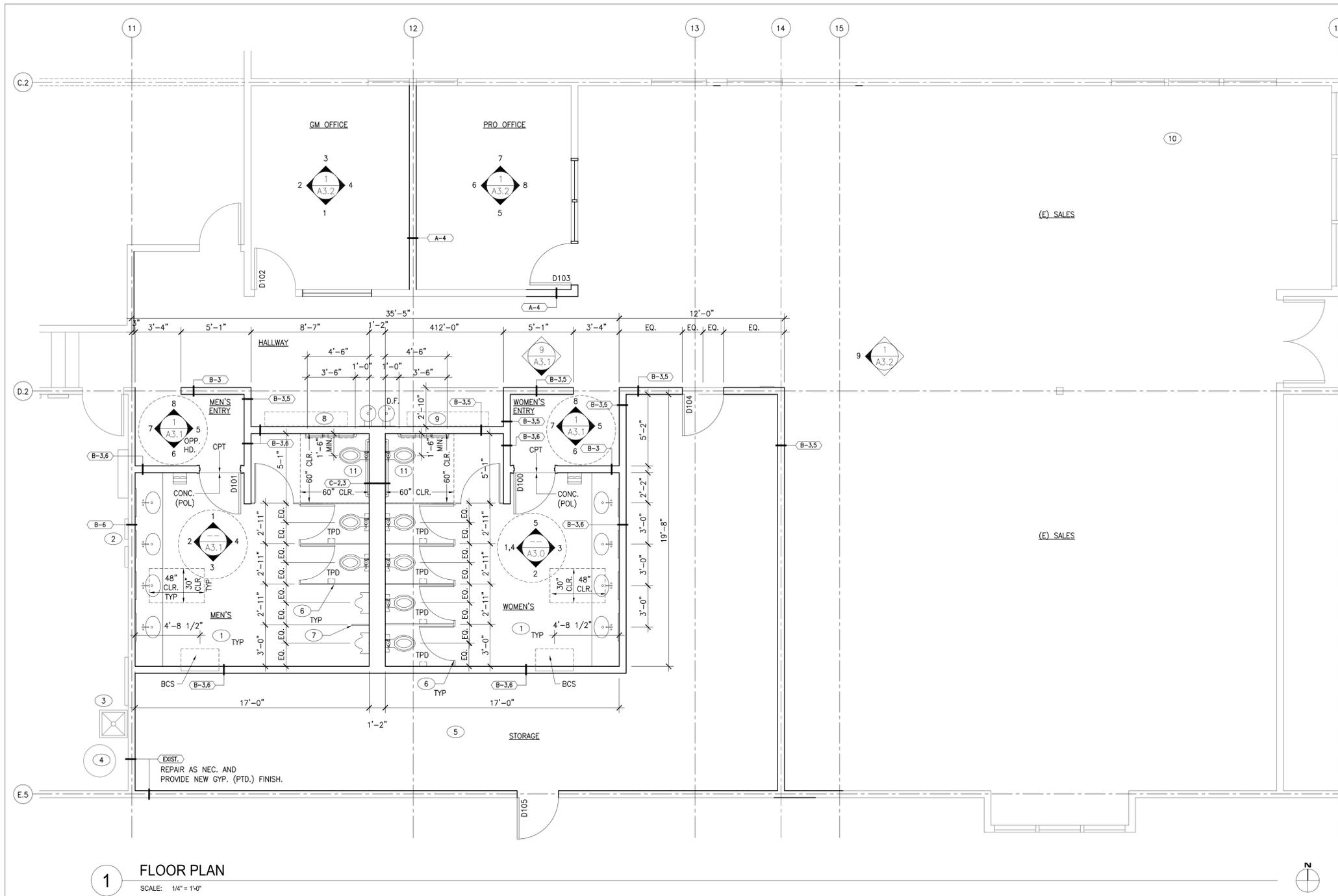
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1/4" = 1'-0"
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**CEILING
DEMOLITION PLAN**

SHEET NUMBER

A2.1



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL FLOORPLAN NOTES

- CONTRACTOR AND SUBCONTRACTORS MUST VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITIES AND ALL ABANDONED UTILITIES AND SERVICES SHALL HAVE CONDUIT, CABLING OR PIPING REMOVED AND CAPPED AT THE EXTENT OF THE PROJECT OR AS REQUIRED FOR THE OPERATION OF THE SYSTEMS. COORDINATE WITH MECHANICAL, ELECTRICAL, & PLUMBING CONTRACTORS. INCLUDE ALL WORK EVIDENT BY SITE INSPECTIONS WHETHER OR NOT SHOWN ON THE DRAWINGS. NOTIFY ARCHITECT OR OWNER OF ANY DISCREPANCIES. IF THERE IS A QUESTION AS TO THE TYPE OF ASSEMBLY, OR OF ANY CONFLICTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR OWNER PRIOR TO PROCEEDING WITH THIS WORK.
- PATCH, REPAIR AND REFINISH EXISTING ITEMS TO REMAIN TO SPECIFIED CONDITION OF EACH MATERIAL AND PROVIDE A SMOOTH TRANSITION TO ADJACENT NEW CONSTRUCTION. CUT EXISTING FINISHES TO BE REMOVED USING METHODS TO TERMINATE SURFACES IN STRAIGHT, NEAT LINE AT A NATURAL POINT OF DIVISION.
- VERIFY THAT ALL ASSEMBLIES TO BE REMOVED ARE NON-STRUCTURAL. IF THERE IS A QUESTION AS TO TYPE OF ASSEMBLY, CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THIS WORK.
- SEISMICALLY BRACE ALL SUSPENDED EQUIPMENT PER JURISDICTIONAL REQUIREMENTS. ALL NEW MATERIALS TO MEET CITY OF PORTLAND FIRE-RESISTIVE GUIDELINES FOR BUILDING CONSTRUCTION TYPE. ALL WORK TO BE DONE IN ACCORDANCE WITH ALL GOVERNING STATE & LOCAL CODES & ORDINANCES.
- FLOORING GRINDER/SEALERS ARE TO WALK THROUGH THE WORK AREA AT GENERAL CONTRACT SIGNING AND VERIFY THAT THE CONDITION OF THE SUBFLOOR IS ADEQUATE TO RECEIVE THE SCHEDULED FINISHES.
- PROVIDE ADEQUATE SUPPORT OR ANCHORAGE OF SUBSTRATES TO RECEIVE NEW FINISHES, EQUIPMENT, CABINERY, FIXTURES, OR OTHER LOADS.
- ALL NEW AND EXISTING GYPSUM BOARD SURFACES WITHIN THIS SCOPE OF WORK ARE TO BE PAINTED, U.O.N.
- CONTRACTOR TO SUBMIT ALL FINISHES AND MATERIALS TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING MATERIAL.
- COORDINATE PARTITION LOCATIONS ON SITE AND REVIEW PROPOSED LOCATIONS WITH ARCHITECT OR OWNER PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ARE FACE OF FINISH, U.O.N.

SEE PLUMBING DRAWINGS FOR ADD'L INFORMATION ON PLUMBING FIXTURES & ALL OTHER SYSTEM COMPONENTS.

LEGEND

- EXISTING
- (B-5.1) PARTITION IDENTIFICATION TAG
- SEE SHEET A8.0 FOR NEW CONSTRUCTION TYPES
- D102 DOOR NUMBER

FLOOR PLAN KEYNOTES

- EXISTING CONCRETE SLAB - TRENCH FOR UTILITIES AS NEC. PATCH, REPAIR, ALLOW TO CURE, GRIND AND POLISH - SEE FINISH SCHEDULE
- (E) ELECTRICAL PANELS - SEE CEILING & LIGHTING PLAN & OTHERS ELECTRICAL FIXTURES AND PROVIDE NECESSARY COMPONENTS & CONNECTIONS FOR A FULLY FUNCTIONAL SYSTEM.
- (E) MOP SINK
- (E) HOT WATER HEATER - SEE PLUMBING DRAWINGS
- PROVIDE STUB-INS FOR FUTURE ICE-MACHINE OR WALK-IN COOLER - SEE PLUMBING DRAWINGS
- CEILING-HUNG TOILET PARTITIONS - SUPPORT AND ANCHOR AS NEC., SEE FINISH SCHEDULE
- WALL-HUNG URINAL SCREEN TO MATCH TOILET PARTITIONS
- TROPHY CASE, N.I.C.
- DISPLAY / GRAPHIC TACKPANEL, N.I.C.
- PROVIDE STUB-INS FOR FUTURE FOOD SERVICE COUNTER-SEE PLUMBING DRAWINGS
- FLUSH ACTIVATOR ON WIDE SIDE

GLENDOVEER GOLF CLUBHOUSE TOILET ROOM RENOVATIONS
14015 NE GLISAN STREET
PORTLAND, OR 97230

METRO
600 NE GRAND AVENUE
PORTLAND, OR 97232

ARCHITECT

DAO ARCHITECTURE LLC
1919 SE 43RD AVENUE
PORTLAND, OR 97215
503.230.0664
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CONSULTANT

STAMP



NO.

DATE

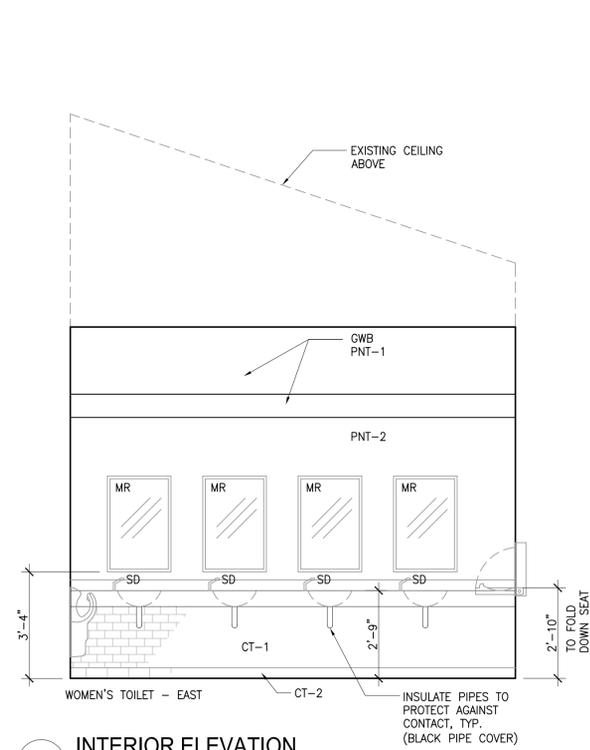
KEY PLAN

ISSUANCE
ISSUED FOR PERMIT/BID
PROJECT NUMBER
1209
DATE
12.7.2012
SCALE
1/4" = 1'-0"
DRAWING TITLE

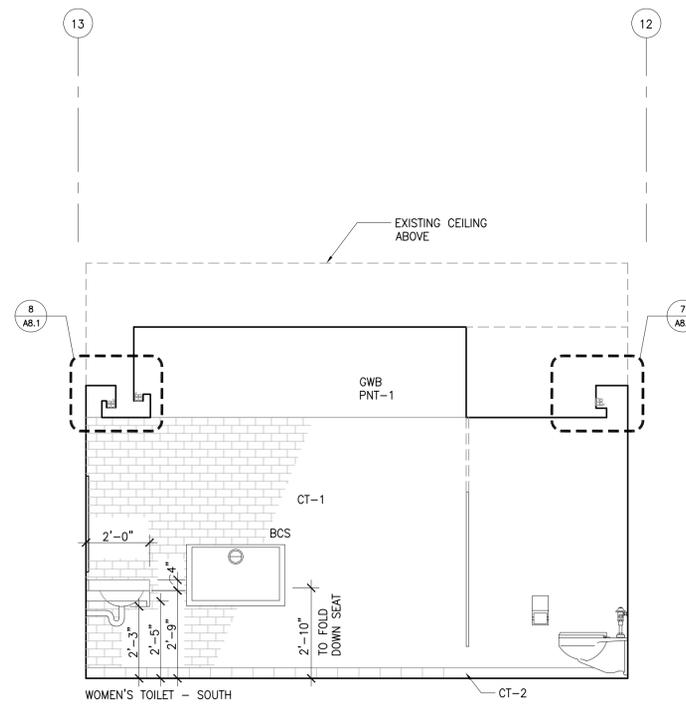
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SHEET NUMBER

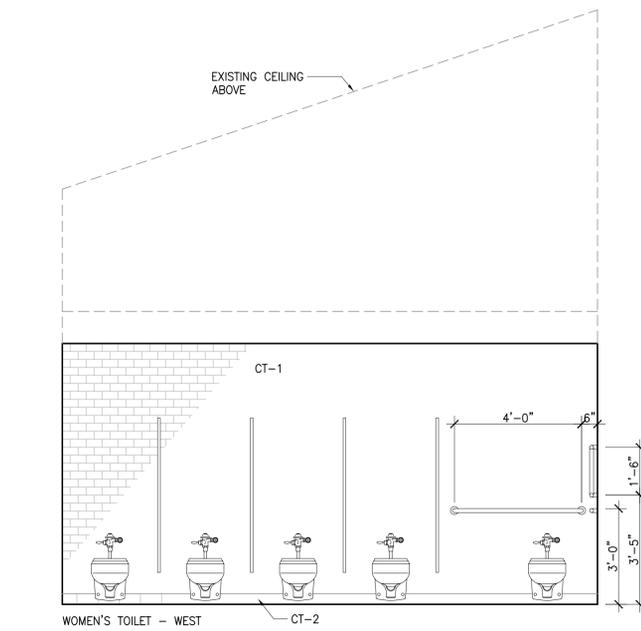
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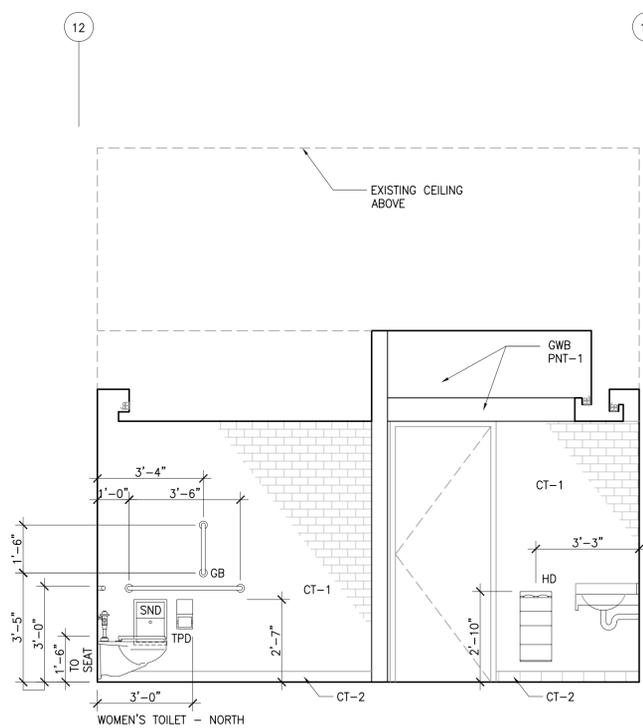
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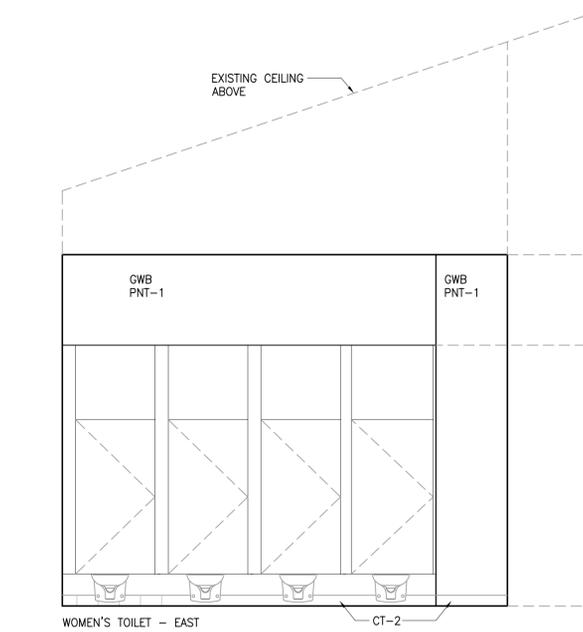
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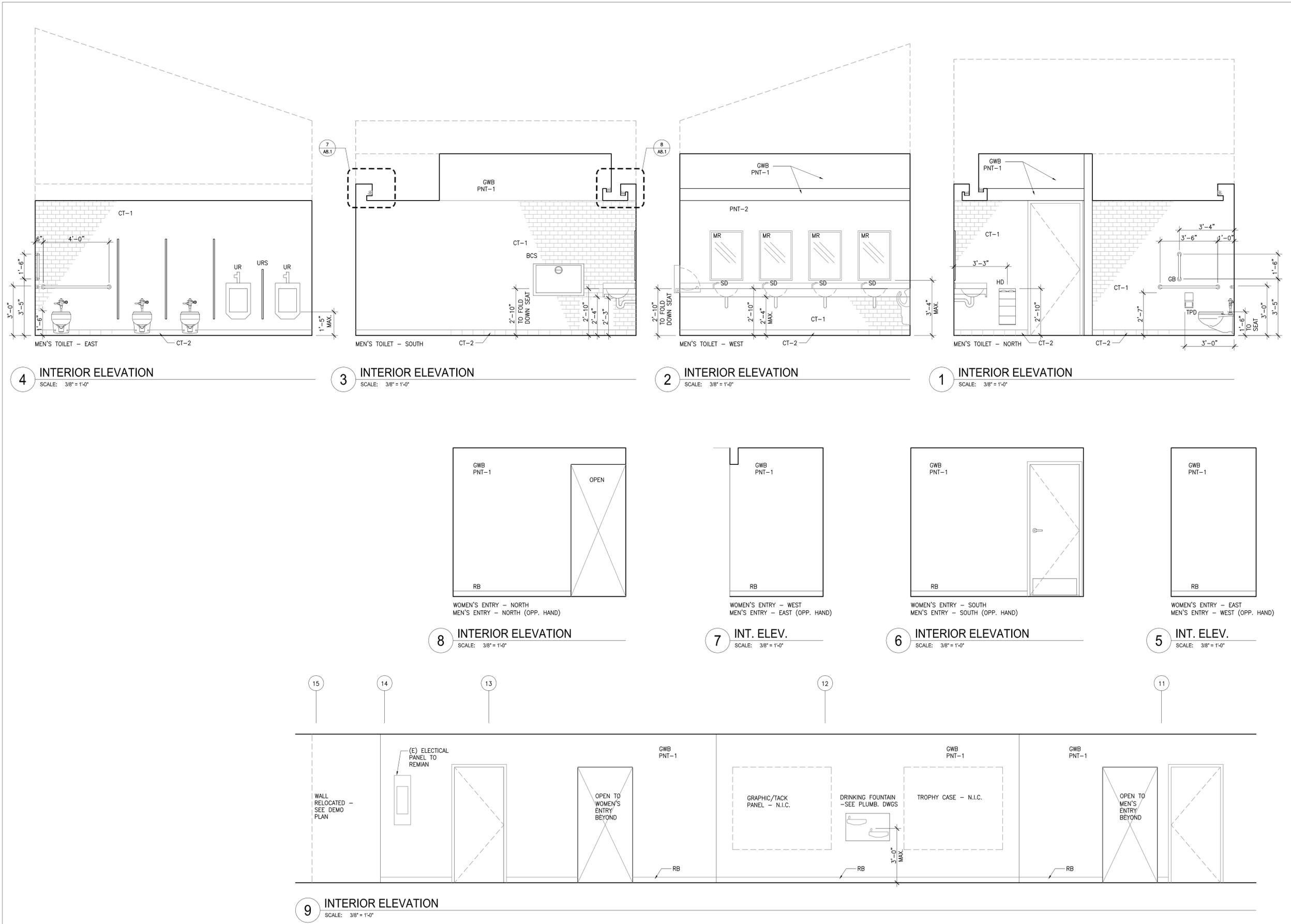
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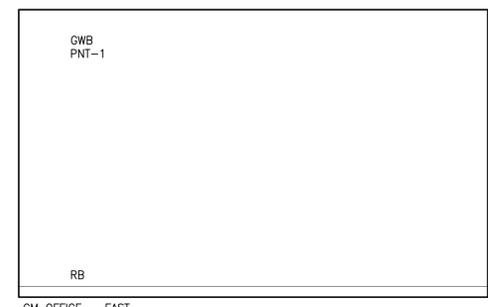


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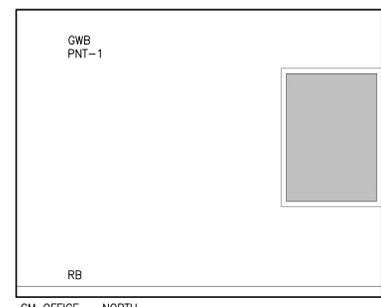


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SCALE: 3/8" = 1'-0"

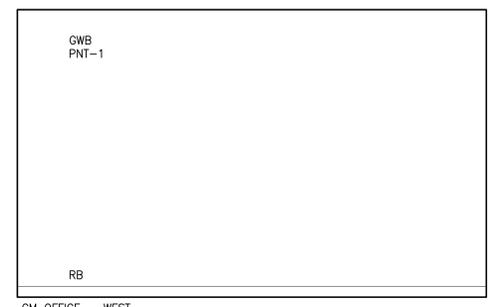




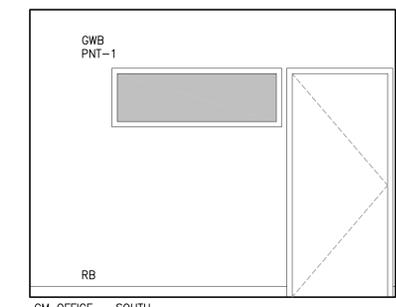
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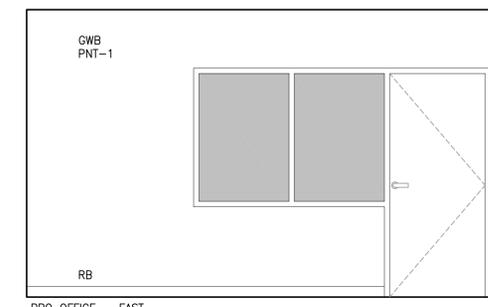
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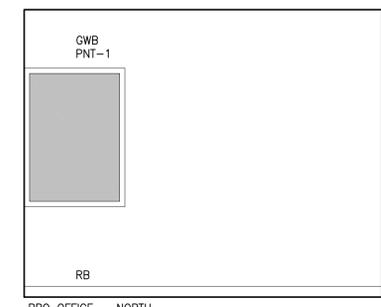
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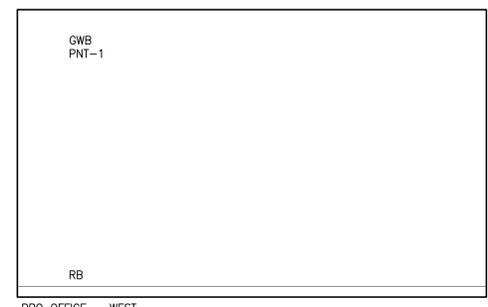
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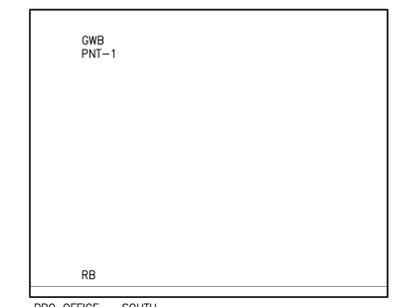
8 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



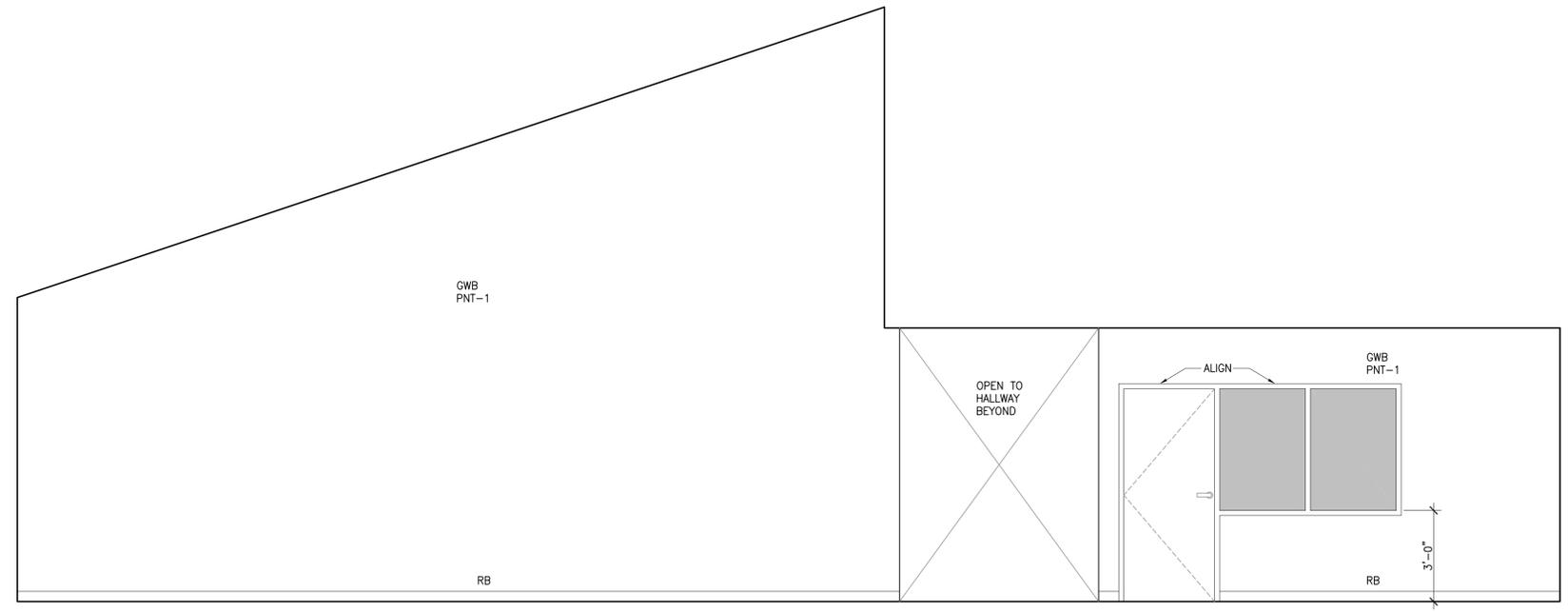
7 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



6 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



5 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



9 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"

DOOR SCHEDULE

MARK	TYPE	FRAME	SIZE	HARDWARE GROUP	HEAD / JAMB DETAILS	REMARKS
D100	WOOD (EXIST. RELOC.)	HOLLOW METAL (EXIST. RELOC.)	3'-0"w x 7'-0" h	(EX)	MATCH EXISTING	RE-USE FROM EXISTING MEN'S ROOM VESTIBULE. REFURBISH HARDWARE AS NECESSARY.
D101	WOOD (EXIST. RELOC.)	HOLLOW METAL (EXIST. RELOC.)	3'-0"w x 7'-0" h	(EX)	MATCH EXISTING	RE-USE FROM EXISTING WOMEN'S ROOM VESTIBULE. REFURBISH HARDWARE AS NECESSARY.
D102	WOOD (EXIST. REMAINS.)	HOLLOW METAL (EXIST.)	3'-0"w x 7'-0" h	(EX)	MATCH EXISTING WITH NEW ADJ CLERESTORY	EXISTING REMAINS, NEW 54"Wx18"Hx1/4" GLS (TEMP.) CLERESTORY ADJ. - SEE ELEVS
D103	WOOD DOOR WITH GLASS SIDELITE	HOLLOW METAL (EXIST. RELOC.)	3'-0"w x 7'-0" h	(EX)	MATCH EXISTING	RE-USE FROM EXISTING OFFICE TO BE DEMOLISHED. REFURBISH HARDWARE AS NECESSARY. NEW 72"Wx52"Hx1/4" GLS (TEMP.) SIDELITE - SEE ELEVS
D104	WOOD (EXIST. RELOC.)	HOLLOW METAL (EXIST. RELOC.)	3'-0"w x 7'-0" h	(EX)	MATCH EXISTING	RE-USE FROM EXISTING STORAGE ROOM WALL TO BE DEMOLISHED. REFURBISH HARDWARE AS NECESSARY.
D105	HOLLOW METAL (EXIST. RELOC.)	HOLLOW METAL (EXIST. RELOC.)	3'-0"w x 7'-0" h	(EX)	MATCH EXISTING	RE-USE FROM EXISTING EXTERIOR LOCATION APPROX. 10' TO THE EAST. REFURBISH HARDWARE AS NECESSARY.

HARDWARE GROUPS

EXISTING HARDWARE TO BE REFURBISHED AS NECESSARY FOR FULLY-FUNCTIONAL OPERATION, VERIFY COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS, HANDLES TO BE LEVER-TYPE, ADA COMPLIANT. DOOR OPENING FORCE SHALL MEET ALL APPLICABLE CODES AND SHOULD NOT EXCEED 8.5LBF.

TOILET ACCESSORY LEGEND

BCS	BABY CHANGING STATION: KOALA BEAR KARE PRODUCTS KB2001-01 HORIZONTAL DESIGN, GRAY
CH	COAT HOOK: BOBRICK B-76727, OR EQ.
GB	GRAB BAR: AMERICAN SPECIALTIES (ASI) 3800 SERIES X 18", 36", 42"
SND	SANITARY NAPKIN DISPOSER: ASI 20852
SD	SOAP DISPENSER: BOBRICK B-824
TPD	TOILET PAPER DISPENSER: ASI 9030
MR	MIRROR: 1/4"THK. 24"x42"
HD	HAND DRYER: DYSON AB04 : GRAY COLOR

NOTES:

- COORDINATE FRAMING, TOILET PARTITION, AND FINISHES TO ACCOMMODATE RECESSED ACCESSORIES. ALSO COORDINATE ACOUSTICAL INSULATION WHERE NECESSARY AT RECESSED ACCESSORIES. INSTALL TOILET ACCESSORY UNITS IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS, USING FASTENERS APPROPRIATE TO SUBSTRATE AND RECOMMENDED BY MANUFACTURER OF UNIT. PROVIDE 16GA BACKING OR SOLID WOOD BLOCKING AS NECESSARY FOR SOLID ANCHORAGE. INSTALL UNITS AT HEIGHTS INDICATED. ADA MOUNTING HEIGHTS ARE REQUIRED FOR ALL ITEMS.
- LOCATE COAT HOOK BEHIND EACH TOILET COMPARTMENT DOOR.

ROOM FINISH SCHEDULE

ROOM/AREA NAME	FLOOR		BASE		NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING		REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
HALLWAY	CPT	-	RB	-	GYP. BD.	PNT	-	-	GYP. BD.	PNT	-	-	ACT	-	SEE CARPET & PAINT NOTES BELOW
WOMEN'S ENTRY	CPT	-	RB	-	GYP. BD.	PNT	-	PNT	GYP. BD.	PNT	GYP. BD.	PNT	GYP. BD.	PNT	SEE CARPET & PAINT NOTES BELOW
MEN'S ENTRY	CPT	-	RB	-	GYP. BD.	PNT	GYP. BD.	PNT	GYP. BD.	PNT	GYP. BD.	PNT	GYP. BD.	PNT	SEE CARPET & PAINT NOTES BELOW
WOMEN'S	CONC	POLISH	CT-2	-	CT-1/GYP	PNT	CT-1/GYP	PNT	CT-1	-	CT-1	-	GYP. BD.	PNT	
MEN'S	CONC	POLISH	CT-2	-	CT-1/GYP	PNT	CT-1	-	CT-1	-	CT-1/GYP	PNT	GYP. BD.	PNT	
GM OFFICE	CPT	-	RB	-	GL/GYP	PNT	GYP. BD.	PNT	GL/GYP	PNT	GYP. BD.	PNT	ACT	-	SEE CARPET & PAINT NOTES BELOW
PRO OFFICE	CPT	-	RB	-	GL/GYP	PNT	GYP. BD.	PNT	GL/GYP	PNT	GYP. BD.	PNT	ACT	-	SEE CARPET & PAINT NOTES BELOW
STORAGE	CONC	POLISH	RB	-	GYP. BD.	PNT	GYP. BD.	PNT	GYP. BD.	PNT	GYP. BD.	PNT	EXP.	-	

FINISH SCHEDULE LEGEND

FLOORS	WALLS		NOTES:
CONC.	CONCRETE	CT	
CPT	CARPET	GL	GLAZING
CT.	CERAMIC TILE	GYP. BD.	GYP. WALL BOARD, PTD.
POL	POLISHED	PNT	PAINT
RES	RESILIENT		
BASE			
RB	RUBBER BASE		
CT	CERAMIC TILE		
CEILING (REF. CEILING PLANS FOR EXTENT OF FINISHES)			
GYP. BD.	GYP. WALL BOARD, PTD.		
ACT.	ACOUSTICAL CEILING TILE		
EXP.	EXPOSED CEILING		

- THE FINISH SCHEDULE DESCRIBES THE PRIMARY MATERIALS WITHIN A SCHEDULED ROOM. THERE MAY BE OTHER MATERIALS USED WITHIN THE SPACES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE FULL EXTENT OF THE FINISH MATERIALS WHETHER OR NOT THEY APPEAR ON THE SCHEDULE.
- REFERENCE PLANS, REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS FOR MORE INFORMATION.
- FINISH SCHEDULE CALLS OUT PRIMARY COLOR OF PAINT (PNT) REFERENCE PLANS AND ELEVATIONS FOR ACCENT COLOR, ETC. SEE ALSO NOTES REGARDING PAINT ON SCHEDULE BELOW
- CARPET & CARPET INSTALLATION TO BE PROVIDED BY OTHERS. SURFACES TO BE PROPERLY PREPPED & COORDINATE ALL PREPARATION WORK WITH OWNERS.
- ALL MASTICS & ADHESIVES ARE TO BE LOW OR ZERO V.O.C.

MATERIAL ID KEY AND MATERIAL NOTES ON THESE SHEETS INDICATE OUTLINE SPECIFICATION AND CONTACT INFORMATION. GENERAL CONTRACTOR AND SUBCONTRACTORS TO PROVIDE SUBMITTAL LITERATURE (AND SAMPLES WHERE TYPICAL AND FEASIBLE) FOR REVIEW. SUBMITTALS SHALL BE PROVIDED FOR ALL SYSTEMS AND PRODUCTS AND MATERIALS PRIOR TO PROCUREMENT AND INSTALLATION. SUBMITTALS TO BE PROVIDED SHALL INCLUDE, BUT NOT BE LIMITED TO: MECHANICAL SYSTEMS AND EQUIPMENT, ELECTRICAL SYSTEMS, FIXTURES, AND EQUIPMENT, PLUMBING FIXTURES AND MATERIALS, DOORS, HARDWARE, AND INTERIOR GLAZING, PAINT AND SEALERS, AND ALL OTHER MATERIALS TO BE UTILIZED ON THE PROJECT.

MATERIAL ID KEY / OUTLINE SPECIFICATIONS

MARK	MATERIAL	LOCATION	SPEC. INFO	CONTACT	REMARKS
CONC.	CONCRETE- POLISHED	TOILET ROOMS	RETROPLATE POLISHED FINISH		
CT-1	WALL TILE	TOILET ROOMS	AMERICAN OLEAN #62 MATTE 6X6 RUNNING BOND PATTERN		
CT-2	BASE TILE	TOILET ROOMS	AMERICAN OLEAN #62 MATTE 6X6 COVE		
CT-3	FLOOR TILE	TOILET ROOMS	TAU KREHAN BROWN 23 1/2 x 12	S'TILE 503.230.9380	PROVIDE TILE FLOOR IN TOILET ROOMS AS AN ADD ALTERNATE
GYP. BD.	GYP. BOARD	THROUGHOUT	5/8", USE WRGB OR MRGB WHERE INDICATED		
MR	MIRROR	TOILET ROOMS	NOMINAL THICKNESS: 1/4", 24"x36" W/ THIN PROFILE SS STEEL FRAME		
PNT-1	PAINT	TOILET ROOMS, ENTRYWAYS	INTERIOR LATEX, COLOR WHITE	CUSTOM METRO PAINT PROVIDED BY OWNER	PAINT & PAINTING TO BE PROVIDED BY OTHERS. ALL SURFACES SHOWN AS PNT ARE TO BE PREPPED & SANDED (TO A #4 LEVEL OF FINISH) & PRIMED & FULLY PREPPED FOR FINAL PAINTING
PNT-2	PAINT	TOILET ROOMS, ENTRYWAYS	INTERIOR LATEX, COLOR TBD BY ARCHITECT	CUSTOM METRO PAINT PROVIDED BY OWNER	
PNT-3	PAINT	TOILET ROOMS, ENTRYWAYS	INTERIOR LATEX, COLOR TBD BY ARCHITECT	CUSTOM METRO PAINT PROVIDED BY OWNER	
RB	RUBBER BASE	ENTRYWAYS	FLEXCO, COLOR TBD, 4"		
SSC	SOLID SURFACE COUNTERTOP	LAV COUNTERS	DALTILE - 3CM ONE QUARTZ SURFACES N009: WOVEN WOOL- HONED SLAB		
T. BACKER	CEMENTITIOUS BACKER BD.	BEHIND TILE	1/2" CEMENTITIOUS TILE BACKER BOARD		
T. PTN	TOILET PARTITION	TOILET ROOMS	CEILING HUNG, POWDER COATED, HOLLOW METAL, HADRIAN OR EQ.		PROVIDE ADD ALTERNATE FOR HADRIAN CEILING-HUNG STANDARD SOLID PLASTIC PNTS. (100% RECYCLED)
U. SCRNI	URINAL SCREENS	TOILET ROOMS	WALL HUNG, POWDER COATED, HOLLOW METAL, HADRIAN OR EQ.		PROVIDE ADD ALTERNATE FOR HADRIAN WALL MTD. SOLID PLASTIC SCREEN (100% RECYCLED)

GLENDOVEER GOLF CLUBHOUSE
TOILET ROOM RENOVATIONS
14015 NE GLISAN STREET
PORTLAND, OR 97230

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ARCHITECT

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1919 SE 43RD AVENUE
PORTLAND, OR 97215
503.230.0664
www.daoarchitecture.com

CONSULTANT

STAMP



NO.

DATE

KEY PLAN

ISSUANCE

ISSUED FOR PERMIT/BID

PROJECT NUMBER

1209

DATE

12.7.2012

SCALE

AS NOTED

DRAWING TITLE

**DOOR SCHEDULE
INT. FINISH SCHEDULE
MATERIAL LIST**

SHEET NUMBER

A5.0



GENERAL CEILING PLAN NOTES

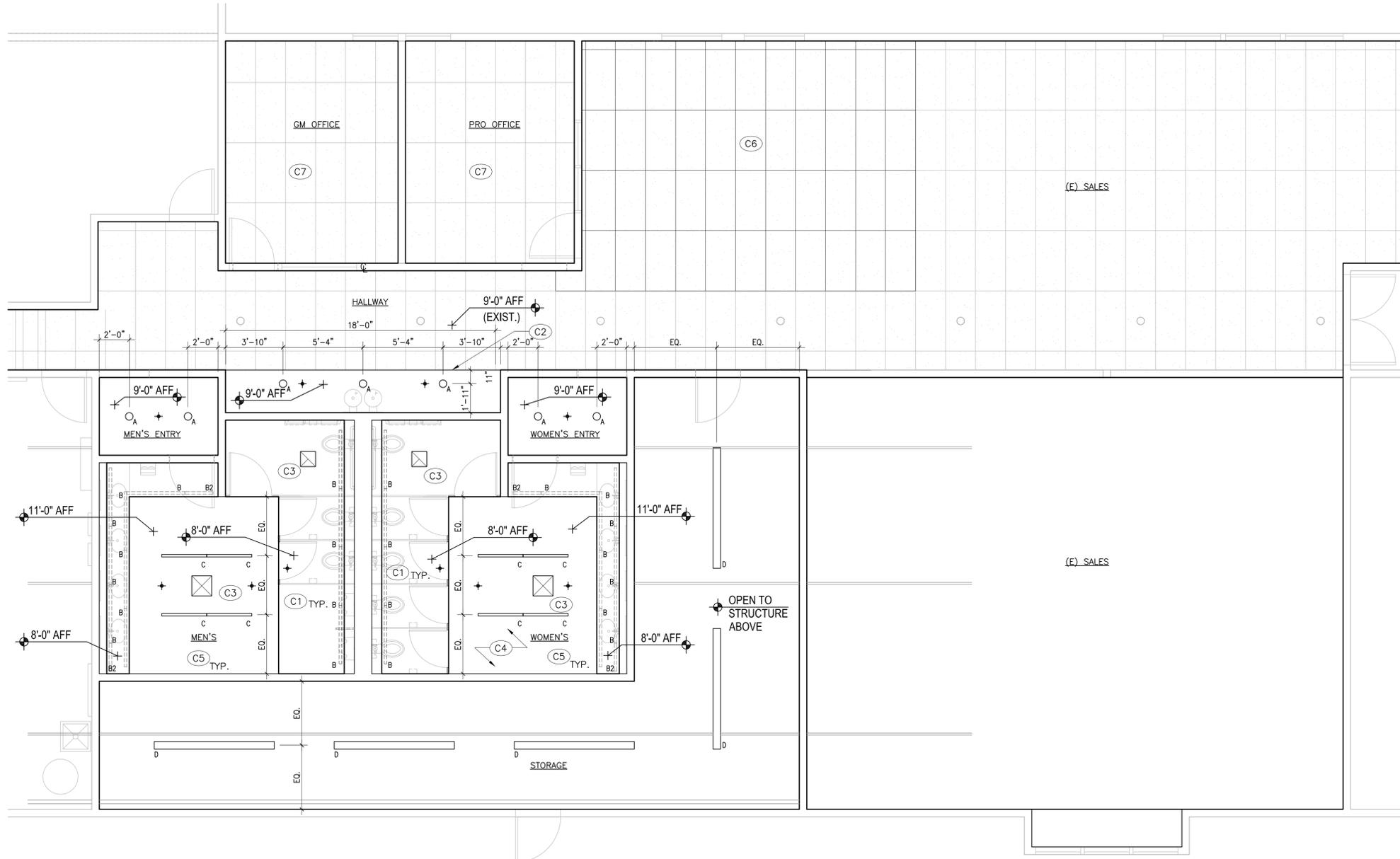
1. PRIMARY CEILING AREAS ARE TO BE PTD. GYP. BOARD ON FRAMING - PREPARED, PRIMED, PAINTED.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY THE LOCATIONS OF OUTLETS, LIGHTING AND OTHER UTILITIES. ALL ABANDONED UTILITIES AND SERVICES SHALL HAVE CONDUIT, CABLING OR PIPING REMOVED AND CAPPED AT THE EXTENT OF THE PROJECT OR AS REQUIRED FOR THE OPERATION OF THE SYSTEMS. COORDINATE WITH MECHANICAL, ELECTRICAL, & PLUMBING CONTRACTORS. INCLUDE ALL WORK EVIDENT BY SITE INSPECTIONS WHETHER OR NOT SHOWN ON THE DRAWINGS. CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER BEFORE CONSTRUCTION.
3. VERIFY THAT ALL ASSEMBLIES TO BE REMOVED ARE NON-STRUCTURAL. IF THERE IS A QUESTION AS TO TYPE OF ASSEMBLY, CONTRACTOR SHALL NOTIFY THE ARCHITECT OR OWNER PRIOR TO PROCEEDING WITH THIS WORK.
4. SEISMICALLY BRACE ALL SUSPENDED EQUIPMENT PER JURISDICTIONAL REQUIREMENTS AND PROVIDE WALL BRACING ABOVE CEILING AND CEILING FRAMING AS NEC. SEE ALSO GENERAL NOTE 8 ON SHEET A2.0.
5. ALL WOOD BLOCKING, NAILERS, ETC. TO BE FIRE RETARDANT.
6. SUSPENDED CEILING EQUIPMENT, LIGHTING, AND TRIM COLOR TO BE APPROVED BY ARCHITECT OR OWNER. COORDINATE WITH ARCHITECT OR OWNER ON ALL COLORS PRIOR TO INSTALLATION AND PROCUREMENT.
7. LIGHTING FIXTURE TYPES ARE SHOWN HERE. ELECTRICAL CONTRACTOR IS TO REMOVE EXIST. LIGHTS (SEE DEMO PLAN) & REPLACE WITH NEW FIXTURES AND EQUIPMENT SHOWN HERE AND CONNECT TO EXISTING CIRCUITS. PROVIDE NEW CIRCUITS AS NECESSARY. COORDINATE ALL LINE AND LOW VOLTAGE APPURTANCES, LIGHT SWITCHES AND/OR OCCUPANCY SENSORS, AND FIRE AND/OR SMOKE ALARM COMPONENTS AND ESTABLISH EXACT LOCATIONS OF EQUIPMENT WITH ARCHITECT OR OWNER IN FIELD PRIOR TO INSTALLATION. COORDINATE WITH ARCHITECT OR OWNER ON ALL SWITCH LOCATIONS AND ZONING. PROVIDE SYSTEMS COMPLIANT WITH ALL APPLICABLE CITY AND STATE CODES AND GUIDELINES.
8. GENERAL MECH. DIFFUSERS LOCATION SHOWN. MECHANICAL CONTRACTOR IS TO VERIFY ALL LOCATIONS W/ ARCHITECT OR OWNER PRIOR TO INSTALLATION, CONNECT & COORDINATE ALL SUPPLY, RETURN, TRANSFER & EXHAUST GRILLES, & COORDINATE W/ ELECTRICAL CONTRACTOR ON ALL CONTROLS IN ORDER TO PROVIDE A BALANCED, FULLY FUNCTIONING SYSTEM.

CEILING PLAN LEGEND AND LIGHTING FIXTURE TYPES

- RECESSED FLUOR CYLINDER
- COVE MTD. FLUOR STRIP
- PENDANT STRIP LIGHT (FLUOR)
BO FIXTURE @ 9'-0" AFF
- PENDANT FLUOR STRIP
BO FIXTURE @ 10'-0"
- SPRINKLER HEAD
- 12'-0" CEILING HEIGHT ABOVE FINISH FLOOR
- WALLS AND FINISH (SEE TYPES)
- 3/8" GYPBOARD FINISH - PTD.
- AIR DIFFUSER-SUPPLY SEE MECH
- AIR GRILLE-RETURN SEE MECH
- AIR GRILLE-EXHAUST SEE MECH

CEILING PLAN KEYNOTES

- C1** INSTALL ABOVE-CEILING SUPPORTS FOR CEILING-HUNG TOILET PARTITIONS AND SECURELY ANCHOR AS NEC.
- C2** ACT CEILING IN HALLWAY TO REMAIN. MODIFY TO INSTALL GYPBOARD CEILING IN THIS NEW ALCOVE AREA AND DETAIL TRANSITION IN NEAT, CLEAN LINE.
- C3** NEW MECHANICAL DIFFUSERS -- SEE ALSO NOTE 8 ABOVE.
- C4** PRIOR TO INSTALLING CEILING IN THIS AREA, REVIEW AREA ABOVE FOR POSSIBLE WATER INTRUSION IN EXISTING SLOPED CEILING. PATCH AND REPAIR AS NECESSARY TO MITIGATE ANY LEAKAGE PRIOR TO INSTALLATION OF NEW CEILING.
- C5** PNT-1 THROUGHOUT CEILING SURFACES
- C6** PRIOR TO DEMOLITION, REVIEW CEILING GRID CONDITION IN THESE AREAS. PROTECT AND REUSE WHERE POSSIBLE & PROVIDE NEW SURFACE AND GRID ACT TILES WHERE NECESSARY FOR NEAT, CLEAN APPEARANCE. WHERE NEW ACT TILES WILL BE PROVIDED, MATCH APPEARANCE OF EXISTING TILES W/ SIMILAR TILES IN HIGHEST LEVEL OF RECYCLED CONTENT AVAILABLE (ARMSTRONG ULTIMA, OASIS, OR SIM.)
- C7** PRIOR TO DEMOLITION IN THESE AREAS, REVIEW CONDITION OF EXISTING LIGHTING & OTHER CEILING APPURTANCES. REWIRING LIGHTING AS NECESSARY FOR PROPER OPERATION. WHERE NEW ACT TILES WILL BE PROVIDED, MATCH APPEARANCE OF EXISTING TILES W/ SIMILAR TILES IN HIGHEST LEVEL OF RECYCLED CONTENT AVAILABLE (ARMSTRONG ULTIMA, OASIS, OR SIM.)



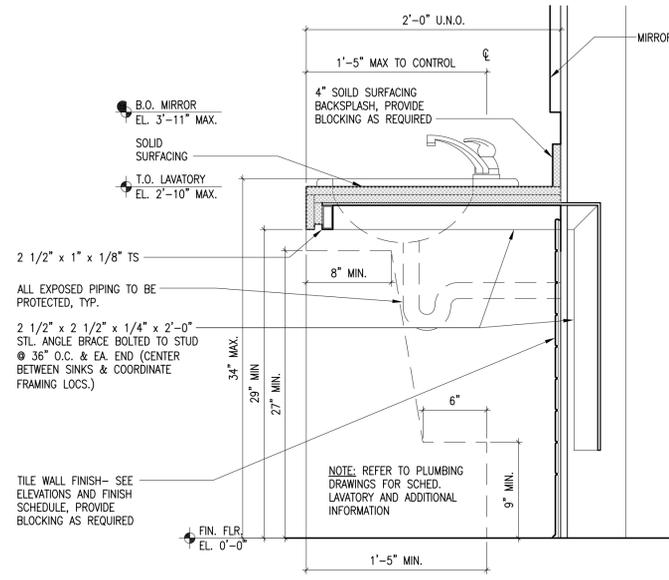
1 REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

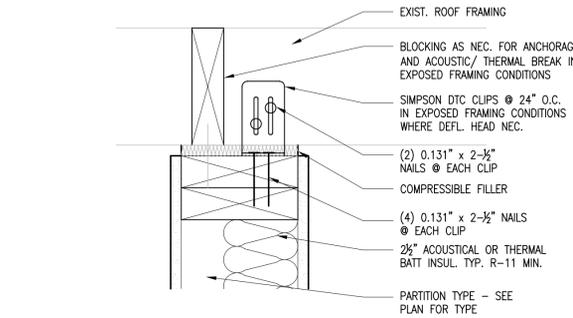
LIGHT FIXTURE SCHEDULE

TYPE	MANUF. & CATALOG #	LAMPS	NOTES
A	RECESSED FLUORESCENT DOWNLIGHT	HALO H570-ICAT, GLACK BAFFLE W/LENS, WHITE TRIM	18W CFL 5" DIA.
B	FLUORESCENT STRIP	NUJITE SAT-1-1475-UNW-PSN-RASY (46.5" LENGTH)	2875 COORDINATE VOLTAGE WITH EXIST. CIRCUITRY AND SYSTEM
B2	FLUORESCENT STRIP	NUJITE SAT-1-1475-UNW-PSN-RASY (22.5" LENGTH)	1475 COORDINATE VOLTAGE WITH EXIST. CIRCUITRY AND SYSTEM
C	PENDANT FLUORESCENT DIRECT / INDIRECT	GAMMALUX GB24B2-1/12875-VOLT-ERS-6'-S2'-ASL/ASL-WSG (VERIFY BATTER PACK EM. KIT IF NEC.)	(2) 28-75 COORDINATE VOLTAGE WITH EXIST. CIRCUITRY AND SYSTEM VERIFY PENDANT STEM LENGTH FOR B.O. FIXTURE @ 9'-0" AFF
D	PENDANT FLUORESCENT DIRECT	LITHONIA LA 2 32 GEB1015-8' OR EQUAL	(2) 32W T8 COORDINATE VOLTAGE WITH EXIST. CIRCUITRY AND SYSTEM COORDINATE CHAIN LENGTH FOR B.O. FIXTURE @ 9'-0" AFF

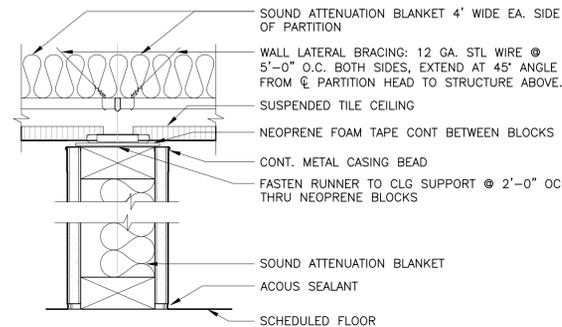
- NOTES:**
1. CONTRACTOR TO VERIFY ALL CAT #S AND COORDINATE WITH VOLTAGE, EMERGENCY, AND EGRESS REQUIREMENTS. CONTRACTOR TO SUBMIT CUT SHEETS FOR APPROVAL PRIOR TO ORDERING.
 2. COORDINATE ALL VOLTAGE FOR FIXTURES WITH EXISTING CIRCUITRY AND PANEL LOADS.
 3. FLUORESCENT LAMPS TO BE 5000K TEMPERATURE.
 4. ALL APPROPRIATE SWITCHES ARE TO BE PROVIDED W/ OCCUPANCY SENSORS COMPLYING WITH LOCAL JURISDICTION.



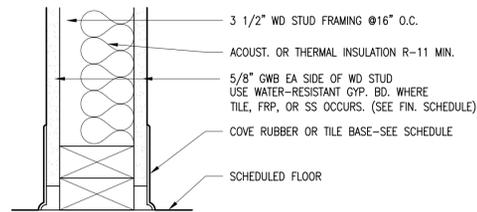
7 SECTION DETAIL LAVATORY COUNTER
1 1/2" = 1'-0"



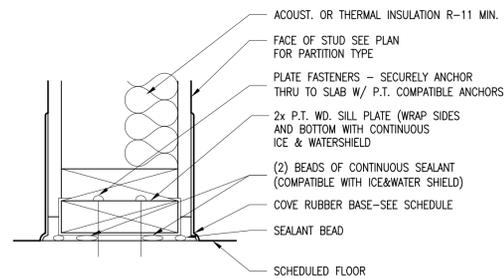
3 PARTITION HEAD CONDITION:
FULL HGT. TO BTM OF ROOF FRAMING
SCALE: 3/8" = 1'-0"



4 STUDS EXTEND TO ACCOUSTICAL TILE CEILING
3" = 1'-0"



5 INTERIOR PARTITIONS - SILL CONDITION
3" = 1'-0"

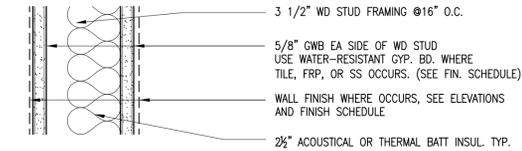


6 INTERIOR PARTITIONS - SILL CONDITION
3" = 1'-0"

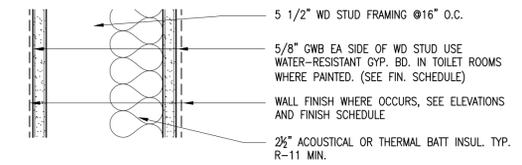
GENERAL PARTITION AND CEILING NOTES

- 1) ALL GWB TO BE 5/8" UNLESS OTHERWISE NOTED.
- 2) ALL WOOD FRAMING TO BE NO. 2 OR BETTER.
- 3) ALL WOOD IN ASSEMBLIES SHALL BE FIRE-TREATED.
- 4) USE WATER RESISTANT GYPSUM WALL BOARD ("WRGB") AT KITCHEN PREP AREAS, BEHIND ALL SINKS, AND WALL TILE LOCATIONS, U.O.N.
- 5) FINISH MATERIAL SUCH AS CERAMIC TILE, WALL COVERING, ETC. ARE NOT SHOWN AS AN INTEGRAL PART OF THE WALL TYPE, REFER TO INTERIOR ELEVATIONS.
- 6) ALL PARTITIONS SHOWN ARE TO INCLUDE ACOUSTICAL OR THERMAL INSULATION, UNO.
- 7) WALL AND CEILING FRAMING, AND STRUCTURAL SUPPORT FOR TOILET PARTITIONS OR OTHER CEILING MOUNTED EQUIPMENT ARE DESIGN-BUILD. PROVIDE PROPER SUPPORTS AND ANCHORAGE FOR ALL LOADS AND MEET ALL MANUFACTURER'S RECOMMENDATIONS AND JURISDICTIONAL REQUIREMENTS.

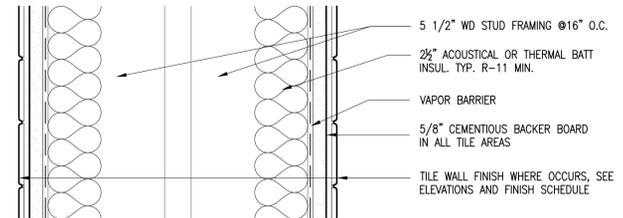
1 PARTITION TYPES:



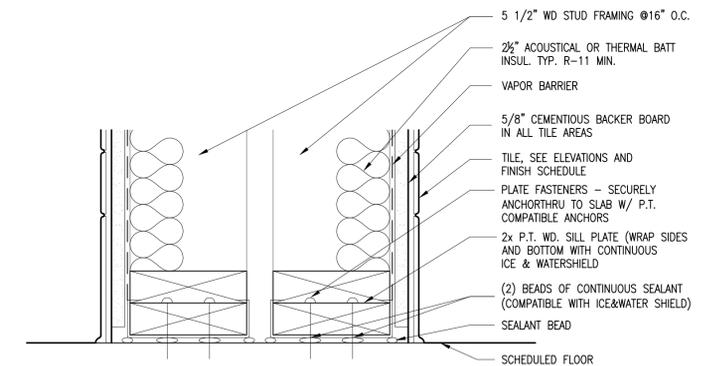
A PARTITION - 2x4 NON-RATED
3" = 1'-0"



B PARTITION - 2x6 NON-RATED
3" = 1'-0"



C PARTITION NON-RATED, PLUMBING CHASE
3" = 1'-0"



2 PARTITION NON-RATED, PLUMBING CHASE, SILL CONDITION
3" = 1'-0"

**GLENDOVEER
GOLF CLUBHOUSE**
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CONSULTANT

STAMP



NO.

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KEY PLAN

ISSUANCE
ISSUED FOR PERMIT/BID

PROJECT NUMBER
1209

DATE
12.7.2012

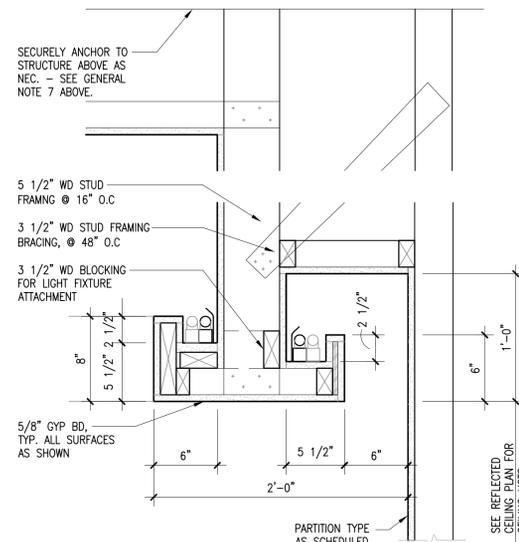
SCALE
AS NOTED

DRAWING TITLE

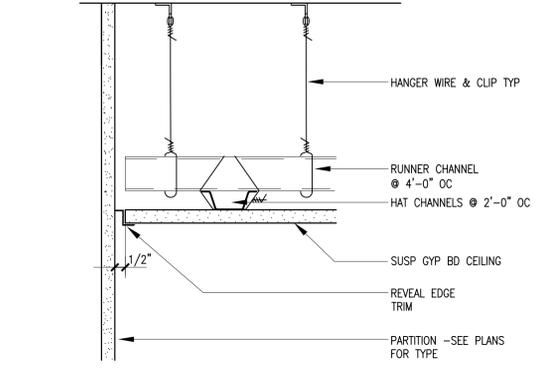
PARTITION DETAILS

SHEET NUMBER

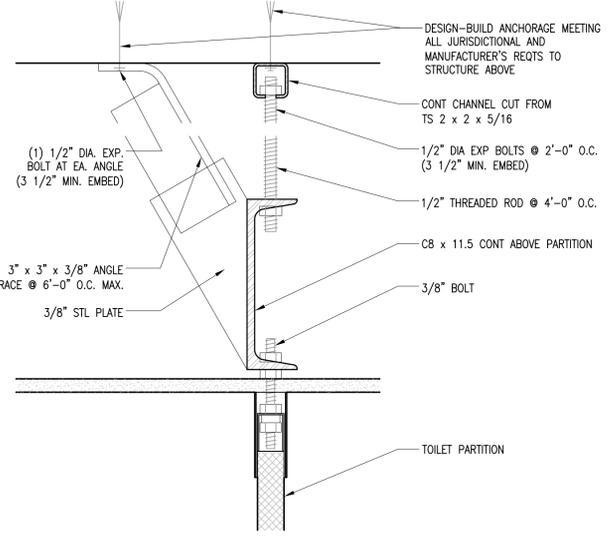
A8.0



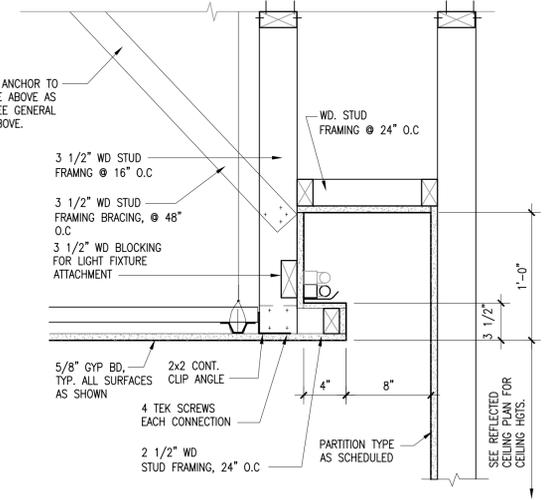
8 COVE LIGHTING @ SINK COUNTER
1 1/2" = 1'-0"



5 CEILING @ PARTITION SUSPENDED GYP BD CEILING
3" = 1'-0"



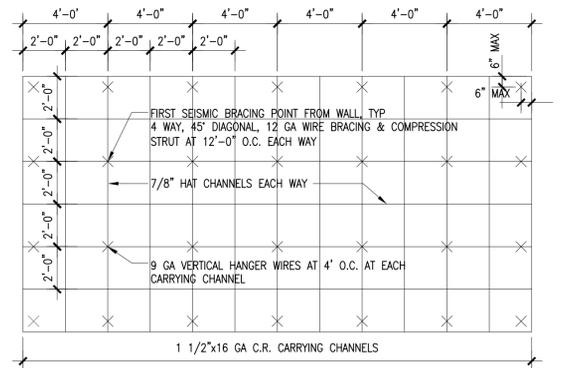
6 SECTION - TOILET PARTITION SUPPORT
3" = 1'-0"



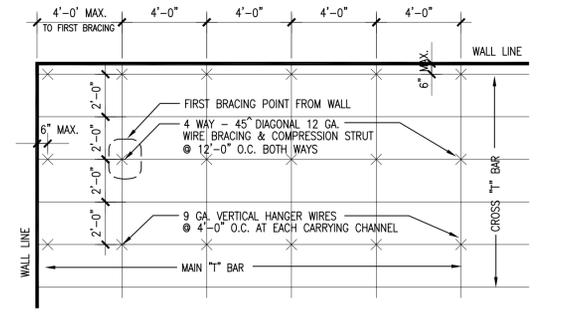
7 COVE LIGHTING @ TOILETS
1 1/2" = 1'-0"

GENERAL PARTITION AND CEILING NOTES

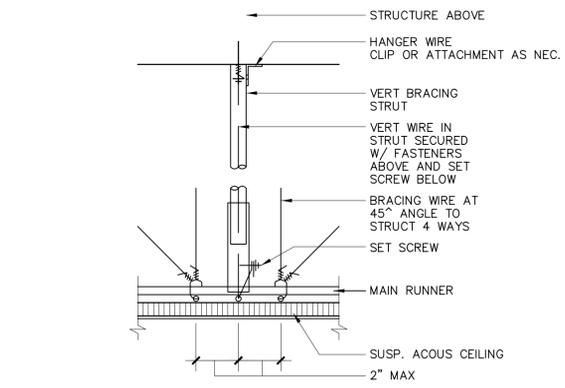
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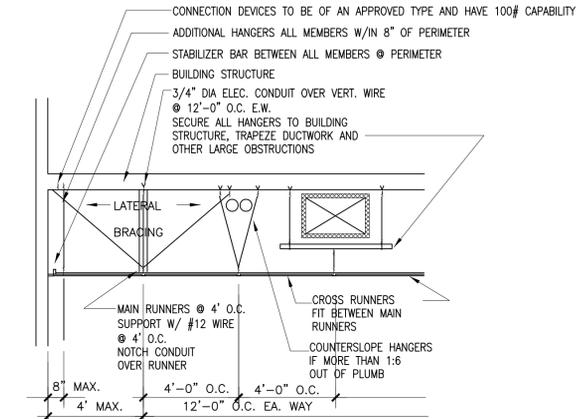
2 PLAN - TYP SUSPENDED GYP BD CEILING SUPPORT LAYOUT
1/4" = 1'-0"



3 PLAN DIAGRAM - ACOUSTIC CEILING TILE
1/4" = 1'-0"



4 SECTION SEISMIC BRACING AT SUSPENDED ACOUSTIC CEILING
3" = 1'-0"



1 SECTION LATERAL BRACING AT SUSPENDED CEILING
NOT TO SCALE

- GENERAL INSTALLATION REQUIREMENTS - UBC STD. 47-18, ASTM C 636-69(76).
- UBC STD. SECTION 47, 1809
- 1) HANGERS TO BE A MIN. OF #12-GA., GALVANIZED, SOFT ANNEALED MILD STEEL WIRE @ 4' O.C. EACH WAY.
 - 2) ATTACHMENT DEVICES TO BE OF AN APPROVED TYPE CAPABLE OF CARRYING 5 TIMES THE CEILING LOAD (#50).*
 - 3) HANGERS TO BE PLUMB OR COUNTER SPLAYED AND NOT PRESSED AGAINST PIPE OR DUCT INSULATION.
 - 4) CARRYING CHANNELS AND MAIN RUNNERS ARE TO BE LEVEL WITHIN 1/8" IN 12'. LEVELING IS TO BE PERFORMED WITH HANGERS TAUT, KINKS OR BENDS ARE NOT TO BE USED AS A WAY OF LEVELING.
 - 5) DEFLECTION SHALL BE LIMITED TO 1/360 OR .133" (1/8") IN A 4' SPAN, IF THE FIXTURE CAUSES A DEFLECTION IN EXCESS OF 1/8", THE FIXTURE SHALL BE INDEPENDENTLY SUPPORTED OR THE GRID SHALL BE SUPPLEMENTALLY SUPPORTED WITHIN 6" OF EACH CORNER WITH A #12 WIRE.
 - 6) A FIXTURE INSTALLATION SHALL NOT CAUSE THE RUNNERS TO ROTATED MORE THAN 2" FROM THE VERTICAL (THIS IS THE EQUIVALENT OF 1/2" FOR A STANDARD 1" TEE).

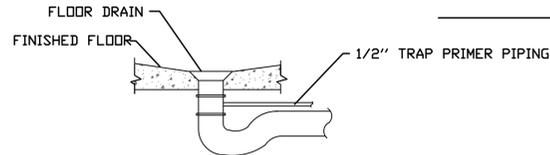
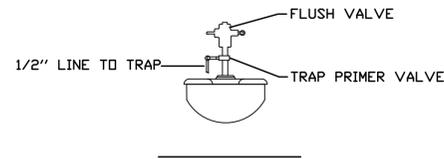
*SEE LATERAL BRACING REQUIREMENTS THAT FOLLOW FOR MORE RESTRICTIVE REQUIREMENTS. LATERAL BRACING REQUIREMENTS IN LIEU OF ENGINEERED DESIGN (APPLICABLE ONLY TO STANDARD 2' x 2' AND 2' x 4' GRIDS WHEN NOT SUPPORTING PARTITIONS.)

- 47.1812
- (a) VERTICAL HANGERS
 - (b) PERIMETER HANGERS
 - (c) LATERAL BRACING
 - (d) PERIMETER MEMBERS
 - (e) ATTACHMENT TO PERIMETER MEMBERS
 - (f) LIGHT FIXTURES
- 1) HANGERS TO BE A MINIMUM OF #12 GA., GALVANIZED, SOFT ANNEALED MILD STEEL WIRE @ 4' O.C. EACH WAY, HANGERS TO BE ATTACHED TO SUSPENSION MEMBERS AND TO THE SUPPORT ABOVE WITH A MINIMUM OF THREE TURNS, HANGERS SHALL NOT ATTACH TO OR BEND AROUND OTHER MATERIAL OR EQUIPMENT AND SHALL NOT BE MORE THAN 1" IN 6" OUT OF PLUMB WITHOUT BEING COUNTERED SPLAYED.
 - 2) ALL CONNECTING DEVICES SHALL BE OF AN APPROVED TYPE CAPABLE OF SUPPORTING 100#S AND BE SECURED TO THE BUILDING STRUCTURE.
 - 3) A TRAPEZE OR EQUIVALENT SHALL BE USED WHERE OBSTRUCTIONS PRECLUDE DIRECT ATTACHMENT TO THE STRUCTURE, TRAPEZE SUSPENSIONS SHALL BE A MINIMUM OF BACK TO BACK 1" COLD ROLLED CHANNELS WHEN SPANS EXCEED 48".
 - 4) ALL RUNNERS SHALL BE INDEPENDENTLY SUPPORTED AT THE PERIMETER WITHIN 8" OF THE WALL OR CEILING DISCONTINUITY, THE WALL ANGLE OR CLOSURE STRIP SHALL NOT BE ALLOWED FOR THIS PURPOSE.
 - 5) WITHIN 4' OF THE WALLS AND AT 12'-0" O.C. IN EACH DIRECTION, 4-#12 GA. WIRES SHALL BE CONNECTED WITHIN 2" OF AN INTERSECTION OF A MAIN RUNNER AND SPLAYED 90° FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45° FROM THE PLANE OF THE CEILING.
 - 6) MEMBERS PERPENDICULAR TO THE WALL SHALL BE TIED TOGETHER (STABILIZED) TO PREVENT THEIR SPREADING. THIS SHALL BE DONE IMMEDIATELY ADJACENT AND PARALLEL TO THE WALL. THE WALL OR CLOSURE ANGLE SHALL NOT BE USED FOR THIS PURPOSE ALTHOUGH TO FACILITATE INSTALLATION, RUNNERS MAY BE ATTACHED TO THE CLOSURE ANGLE AT TWO ADJACENT WALLS WITH CLEARANCES BETWEEN THE WALL AND THE RUNNER BEING MAINTAINED AT THE OTHER TWO WALLS.
 - 7) ALL LIGHT FIXTURES SHALL BE POSITIVELY ATTACHED TO THE SUSPENSION SYSTEM. THE ATTACHMENT DEVICE SHALL HAVE A CAPACITY OF 100% OF THE FIXTURE WEIGHT IN ANY DIRECTION.
 - 8) ONLY INTERMEDIATE-DUTY AND HEAVY-DUTY SUSPENSION SYSTEMS SHALL BE USED TO SUPPORT LIGHT FIXTURES. (IF A LIGHT DUTY SYSTEM IS USED THE FIXTURES MUST BE INDEPENDENTLY SUPPORTED AT EACH CORNER WITH A #12-GA. HANGER.) WITH INTERMEDIATE-DUTY SUSPENSION SYSTEMS, THE GRID MEMBERS SHALL HAVE SUPPLEMENTAL SUPPORT WITHIN 3" OF EACH CORNER OF THE FIXTURE WITH A #12 GA. HANGER WHERE HEAVY-DUTY SUSPENSION SYSTEMS ARE USED, SUPPLEMENTAL SUPPORT IS REQUIRED.
 - 9) IN ADDITION TO THE ABOVE, FIXTURES OR OTHER EQUIPMENT WEIGHING MORE THAN 20# BUT LESS THAN 56# SHALL HAVE TWO #12 GA. WIRES FROM THE HOUSING TO THE STRUCTURE ABOVE OR TO OTHER HANGER WIRES. THESE WIRES MAY BE SLACK. FIXTURES OR OTHER EQUIPMENT WEIGHING IN EXCESS OF 56# SHALL BE INDEPENDENTLY SUPPORTED WITH #12 GA. WIRE AT EACH CORNER TO THE STRUCTURE ABOVE. PENDANT HUNG FIXTURES SHALL BE INDEPENDENTLY SUPPORTED WITH A MINIMUM OF ONE #9 GA. WIRE.

*THIS REQUIREMENT SATISFIES ARTICLE 410-15(c) OF THE NATIONAL ELECTRICAL CODE.

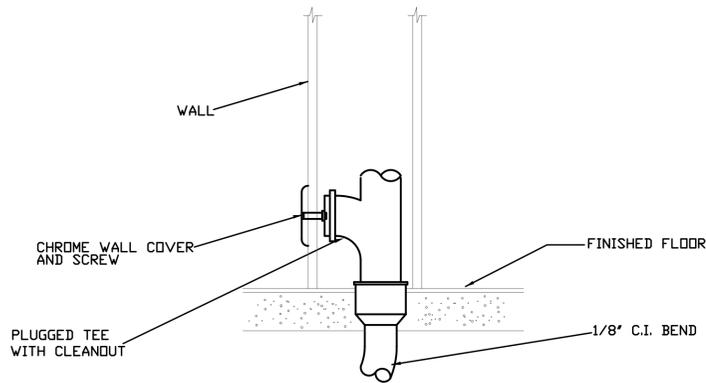
NOTE:
TRAP PRIMER LINE MUST SLOPE TO TRAP.

PRIMER VALVE AT WATER CLOSET FLUSH VALVE:
TRAP SEAL PRIMER SHALL BE SLOAN MODEL VBF-72-A, OR APPROVED EQUAL. PRIMER VALVE SHALL BE LOCATED ON WATER CLOSET FLUSH VALVE, ACCORDING TO MANUFACTURER'S RECOMMENDED INSTALLATION. LOCATE FLUSH VALVE HANDLE ON WIDE OF STALL AT WC-2'S.



1 WALL CLEANOUT - WCO

NTS



REFERENCED ON DRAWING AS "WCO" AND TO BE LOCATED AT ALL SANITARY & GW DROPS THROUGH THE FLOOR

2 WALL CLEANOUT - WCO

NTS

PLUMBING ENERGY CONSERVATION

- ALL HOT WATER SUPPLY AND RECIRCULATION PIPING TO BE INSULATED.
- LAVATORY FAUCETS TO BE CERTIFIED FOR ENERGY APPLIANCE STANDARD COMPLIANCE.
- LAVATORIES IN RESTROOMS SHALL BE EQUIPPED WITH DEVICES THAT LIMIT THE HW OUTLET TEMPERATURE TO A MAXIMUM OF 110 °F USING MIX. VA.
- MAXIMUM FLUSH VOLUMES AND FLOW RATES:
WATER CLOSETS: 1.28 GALLONS PER FLUSH
URINALS: 0.5 GALLONS PER FLUSH
FAUCETS: 0.5 GALLONS PER MINUTE (LAVS)

FIXTURE	NUMBER	WATER WSFU		DRAINAGE F.U.	
		EACH	TOTAL	EACH	TOTAL
WATER CLOSET - FL VA GREATER THAN 1.6 GAL/F	4	-8.0	-32.0	-6.0	-24.0
URINAL - FL VA GREATER THAN 1.0 GAL/F	2	-5.0	-10.0	-2.0	-4.0
LAVATORY	5	-1.0	-5.0	-1.0	-5.0
SHOWER	6	-2.0	-12.0	-2.0	-12.0
FLOOR DRAIN - EMERGENCY	2	-	-	-	-
FLOOR DRAIN	2	-	-	-2.0	-4.0
TOTALS			-59 WSFU		-49 DFU

FIXTURE	NUMBER	WATER WSFU		DRAINAGE F.U.	
		EACH	TOTAL	EACH	TOTAL
WATER CLOSET - FL VA 1.28 GAL/FLUSH	8	5.0	40.0	4.0	32.0
URINAL 0.5 GAL/FLUSH	2	4.0	8.0	2.0	4.0
LAVATORY	8	1.0	8.0	1.0	8.0
FLOOR DRAIN - EMERGENCY	2	-	-	-	-
FUTURE TROUGH DRAIN	1	1.0	1.0	2.0	2.0
DRINKING FOUNTAIN	1	1.0	1.0	1.0	1.0
TOTALS			58 WSFU		47 DFU

SYMBOL	FIXTURE	DESCRIPTION	ACCESSORIES	SAN	VENT	HW	CW	NOTES/COMMENTS
L-1	Lavatory	0495.221 American Standard Ovalyn Basin, for undercounter installation.	EBF-187 Sloan Optima plus, battery Powered faucet. MIX-60-A Sloan below deck mechanical mixing valve. 155AC McGuire open grid drain. H2165N5 McGuire polished brass Faucet Supplies. 8902C McGuire chrome plated P-Trap. PW2000WC McGuire PROWRAP Sanitary	2"	1-1/2"	1/2"	1/2"	Equal by Kohler
U-1	Urinal	6550.005 American Standard Allbrook Flowise Urinal, vitreous china, wall hung.	186-0.5-CP Sloan Royal, exposed manual Flushometer, 0.5 US Gal factory set flow. CA-321 Watts mounted on concrete floor Single Carrier. Urinal Cleanout: Watts CO-380-RD.	2"	1-1/2"	3/4"		Equal by Kohler, Toto
U-2	ADA Urinal	6550.005 American Standard Allbrook Flowise Urinal, vitreous china, wall hung. ADA height.	186-0.5-CP Sloan Royal, exposed manual Flushometer, 0.5 US Gal factory set flow. CA-321 Watts mounted on concrete floor Single Carrier. Urinal Cleanout: Watts CO-380-RD	2"	1-1/2"	3/4"		Equal by Kohler, Toto
WC-1	Water Closet	2257.001.020 American Standard Awall Flowise Elongated LESS EVERCLEAN Toilet, vitreous china, wall hung, operates in the range of 1.1 US Gal to 1.6 US Gal per flush.	500STSCC.001 Centoco heavy duty toilet seat, white solid plastic, open front less cover. 111-1.28-CP Sloan Royal, exposed manual Flushometer, 1.28 US Gal factory set flow. ISCA101SXH/ISCA101DXH Watts mounted on concrete floor. Mission heavy duty couplin	4"	2"		1-1/2"	Equal by Kohler, Toto
WC-2	ADA Water Closet	2257.001.020 American Standard Awall Flowise Elongated LESS EVERCLEAN Toilet, vitreous china, wall hung, operates in the range of 1.1 US Gal to 1.6 US Gal per flush. ADA height.	500STSCC.001 Centoco heavy duty toilet seat, white solid plastic, open front less cover. 111-1.28-CP Sloan Royal, exposed manual Flushometer, 1.28 US Gal factory set flow. ISCA-101-D-XH Watts mounted on concrete floor Double Horizontal Carrier. Mission	4"	2"		1-1/2"	Equal by Kohler, Toto
DF-1	Drinking Fountain	Acorn Aqua Barrier-Free, Bi-Level, Wall Mounted Drinking Fountain with 32" Back Panel #A132400B-W32	Supply: McGuire #HST11BV p-Trap: McGuire #8872C Carrier: Watts #CA-421	2"	1-1/2"		1/2"	Equal by Elkay, Halsey Taylor
FD-1	Floor Drain	Watts Floor Drain with Surface Membrane Clamp #FD-100 2 NH 6-7-FC7		2"				Equal by JR Smith, Zurn
WHA	Water Hammer Arrestor	Watts Water Hammer Arrestor #WHA-5E						Equal by JR Smith, PPP

SYMBOLS & ABBREVIATIONS

ABBREV.	SYMBOL	DESCRIPTION
SAN / W	— — — — —	SANITARY WASTE ABOVE GRADE
SAN / W	— — — — —	SANITARY WASTE BELOW GRADE/FLOOR
V	— — — — —	SANITARY VENT
CW	— — — — —	DOMESTIC COLD WATER
HW	— — — — —	DOMESTIC HOT WATER
RHW	— — — — —	RECIRCULATED HOT WATER
TP	— — — — —	TRAP PRIMER PIPING
	→	DIRECTION OF SLOPE
	→	DIRECTION OF FLOW
	⊗	SHUTOFF VALVE
	⊕	GAS COCK/S.O.C.
	⊗	CHECK VALVE
WHA	— —	WATER HAMMER ARRESTOR
	— —	UNION
	— —	TEE
	— —	TEE UP
	— —	TEE DOWN
	— —	90 ELL UP
	— —	90 ELL DOWN
	— —	90 ELL PLAN
	— —	45 ELL PLAN
	— —	CAP
	— —	PIPE CONTINUATION
WCO	— —	WALL CLEANOUT
CO	— —	CLEANOUT
FD	⊕	FLOOR DRAIN
FCD	⊕	FLOOR CLEANOUT
CTG	⊕	CLEANOUT TO GRADE
PC	⊕	PLUMBING CONTRACTOR
(E)	⊕	EXISTING
P.D.C.	⊕	POINT OF CONNECTION TO EXISTING

DRAWING LIST

DRAWING	TITLE
P0.0	PLUMBING SCHEDULES, LEGEND AND DETAILS
P1.0	PLUMBING FOUNDATION PLAN
P1.1	PLUMBING FLOOR PLAN

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STAMP



NO. DATE

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1209

DATE

12.7.2012

SCALE

NONE

DRAWING TITLE

PLUMBING LEGEND, SCHEDULES AND DETAILS

SHEET NUMBER

P0.0

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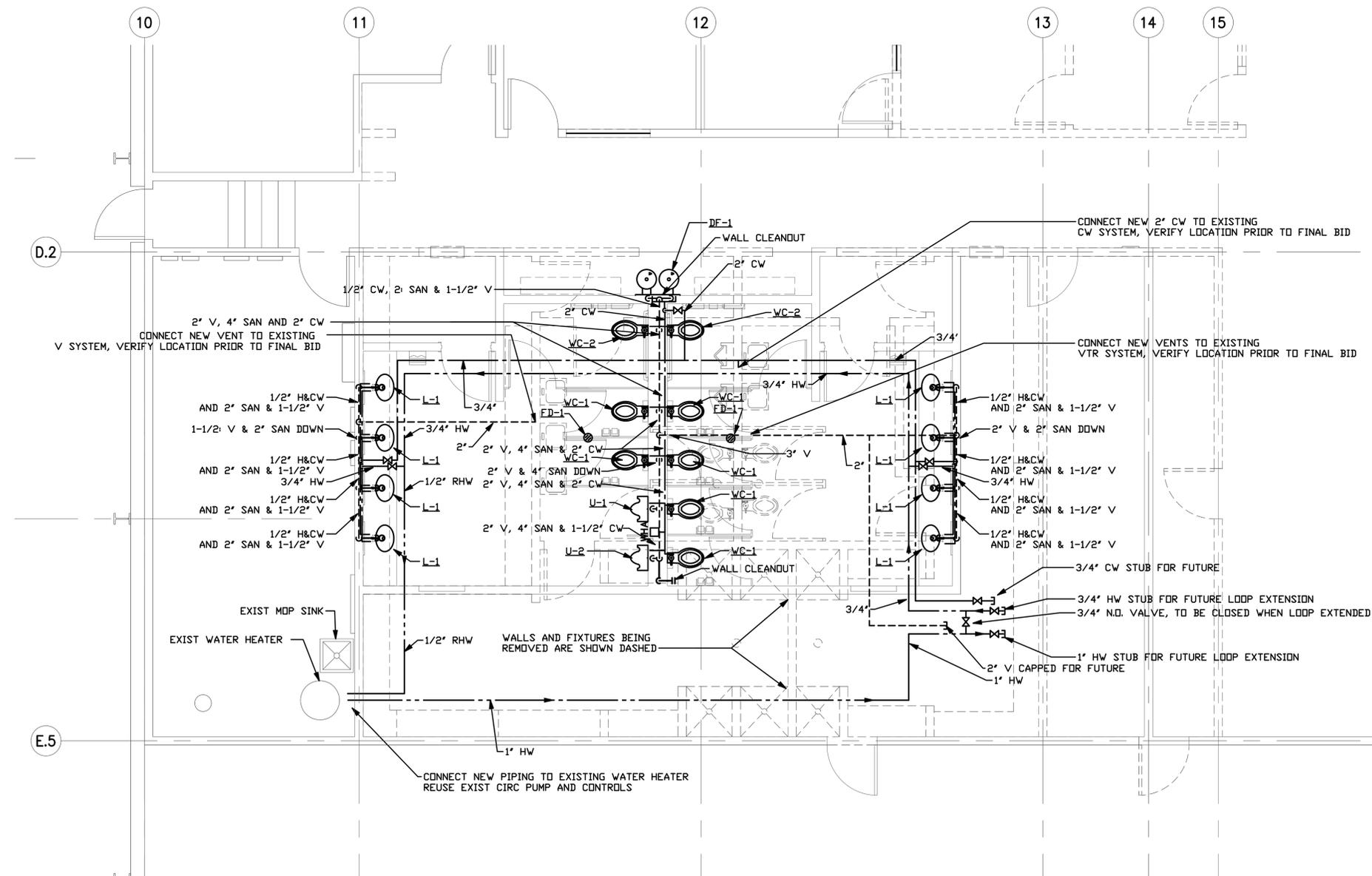


EXPIRES: 12/31/2012

NO. DATE

PIPING MATERIALS	
SANITARY WASTE	DWV ABS
VENTS	DWV ABS
DOMESTIC WATER	PEX TUBING
TRAP PRIMER PIPING	PEX TUBING

ALL MATERIALS TO MEET STATE OF OREGON
PLUMBING SPECIALTY CODE, 2011 EDITION.



KEY PLAN

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ISSUED FOR PERMIT/BID

PROJECT NUMBER

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DATE

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SCALE

1/4" = 1'-0"

DRAWING TITLE

PLUMBING FLOOR PLAN

SHEET NUMBER

P1.1